

# City of San Jose Building Division

## OUTSOURCING Batch Cover Sheet

Address 1298 S Winchester BL

Box #: \_\_\_\_\_

Page: \_\_\_\_\_ Date: 1/3/17

PC #: \_\_\_\_\_ **B E P M** Permit #: 16147044

Category	Document Type	Sub Document Type
<b>BUILDING</b> <input checked="" type="checkbox"/> PL Plans	<input checked="" type="checkbox"/> EP Plans	<input checked="" type="checkbox"/> BL Building <input type="checkbox"/> BP Plumbing <input type="checkbox"/> BM Mechanical <input type="checkbox"/> BE Electrical
	<input type="checkbox"/> SC Structural Calculations	
	<input type="checkbox"/> EC Energy Calculations	
	<input type="checkbox"/> SD Supporting Documents	
	<input type="checkbox"/> SR Soils Report	
	<input type="checkbox"/> TR Trusses/Shop Drawing	
<b>FIRE</b> <input type="checkbox"/> FP Project Permits	<input type="checkbox"/> BC Architectural Review	<input type="checkbox"/> AP Architectural Plans
	<input type="checkbox"/> F1 Alarms	<input type="checkbox"/> AB As-Built's <input type="checkbox"/> FD Alarm Drawings <input type="checkbox"/> MD Monitoring Drawings
	<input type="checkbox"/> SD Site Development	<input type="checkbox"/> SN Drawings
	<input type="checkbox"/> SP Sprinklers	<input type="checkbox"/> OS Sprinkler Drawings <input type="checkbox"/> S7 Underground Drawings <input type="checkbox"/> S8 AS-BUILTS <input type="checkbox"/> SS Fixed Extinguishing System

	Received By	Prepped By
Initials:	<u>LB</u>	<u>LB</u>
Date:	<u>1/4/17</u>	<u>1/4/17</u>



# Taco Bell

## Explorer Remodel

### For M70H



# TACO BELL

1298 Winchester Blvd.  
San Jose, CA 95128



FORM #319 02/2015

## Deferred Submittal Form

Project elements that have not been reviewed and approved as part of the original permit must be submitted as a Deferred Submittal to the Building Division for review and approval within a specified period. Building Division staff will determine which items may be deferred and will consider project timelines and the design professional's recommendations.

### REQUIREMENTS FOR DEFERRED SUBMITTALS

- The Project Engineer or Architect of Record must approve any plans and calculations before these are submitted to the Building Division.
- The design professional of record must list the deferred submittals on the construction documents (drawing cover sheet).
- The Building Division must review and approve the deferred submittal documents BEFORE the installation of any deferred submittal items.
- The project applicant or design professional of record must notify the Building Division in writing of any deferred items not meeting the scheduled dates, and new dates must be submitted for review and approval.
- The approved drawings of the deferred submittal items must be at the job site during the inspection of the deferred items.

PLAN REVIEW #:	16-126140-CI
DATE:	
PROJECT NAME IF ANY:	TACO BELL REMODEL
PROJECT ADDRESS:	1298 S. WINCHESTER BLVD., SAN JOSE, CA
DESIGN PROFESSIONAL NAME:	MARKS ARCHITECTS, INC.
PHONE:	619-702-9448

### DEFERRED SUBMITTAL SCHEDULE

Deferred Submittal Item	Design Professional Review/Approve By	Submittal Date to Building Division	Date for Fabrication	Date for Installation at the Job Site
SIGNAGE				
CANOPIES AND DRAWINGS				
AUTOMATIC FIRE EXTINGUISHING SYSTEM FOR HOOD				

10/28/16  
DATE  
PRINT NAME  
Rakesh Kumar  
MARKS ARCHITECTS, INC. - GABRIELA MARKS  
DATE  
PRINT NAME

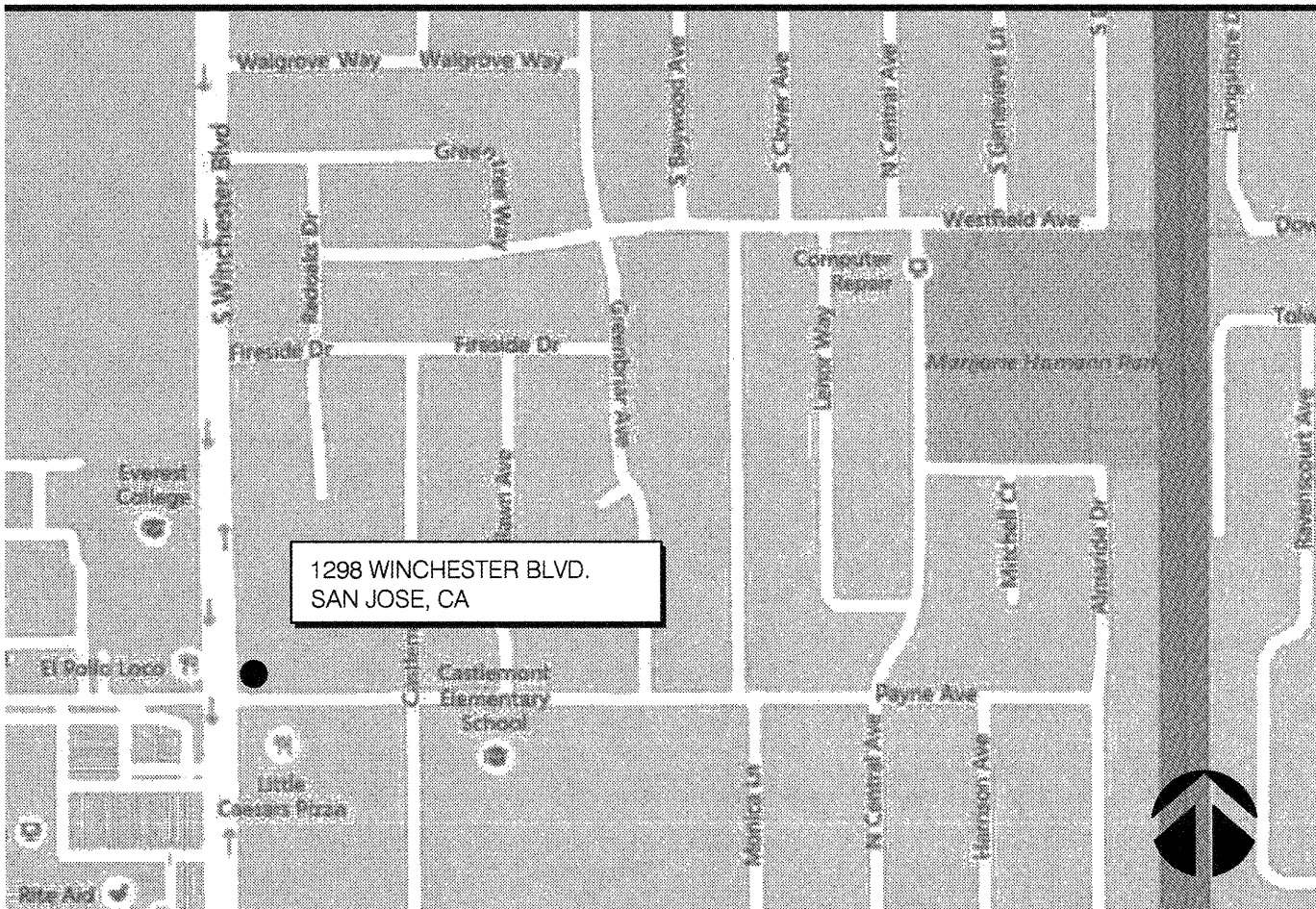
If the design professional is not available at permit issuance, the property owner is responsible for ensuring adherence to the deferred submittal schedule outlined above.

San Jose Permit Center 408-545-3553 | www.sanjose.gov/building | San Jose City Hall, 200 E. Santa Clara St., San Jose, CA 95133

### DEFERRED SUBMITTAL SCHEDULE

- A. ALL WORK SHALL CONFORM TO THE 2013 EDITION OF THE CALIFORNIA BUILDING CODE AND ALL OTHER APPLICABLE CODES, STANDARDS, AND REGULATIONS OF THE CITY OF SAN JOSE AND COUNTY OF SANTA CLARA.
- B. IT IS INTENDED THAT A COMPLETE OCCUPIABLE BUILDING PROJECT IS PROVIDED.
- C. SIGNS UNDER A SEPARATE PERMIT
- D. DO NOT SCALE THESE DRAWINGS. VERIFY ALL DIMENSIONS AND CONDITIONS IN THE FIELD. ANY DISCREPANCIES IN THESE DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO STARTING WORK.
- E. ALL PROPOSED SUBSTITUTIONS SHALL BE APPROVED BY THE ARCHITECT, IN WRITING, PRIOR TO INSTALLATION.
- F. SUBMIT PAY FEES AND OBTAIN ALL PERMITS ASSOCIATED WITH THE PROJECT EXCEPT GENERAL BUILDING PERMIT. THIS INCLUDES, BUT IS NOT LIMITED TO ELECTRICAL, MECHANICAL, PLUMBING, FIRE SPRINKLER, HOOD ANSUL, OR OTHER RELATED FIRE PERMITS, ENCROACHMENT PERMIT, ETC.
- G. PROVIDE EACH SUBCONTRACTOR WITH A COMPLETE AGENCY-PERMITTED DRAWING SET AT TIME OF CONSTRUCTION.
- H. ALL ABBREVIATIONS INCLUDED FOLLOW INDUSTRY STANDARDS. CONTACT ARCHITECT IF ANY ABBREVIATIONS ARE NOT CLEAR.
- I. GC SHALL SUPPLY AND INSTALL ALL ASPECTS OF THE PROJECT DESCRIBED IN THIS DRAWING SET UNLESS OTHERWISE NOTED. SEE SCOPE OF WORK FOR EXCEPTIONS.
- J. GRAPHIC AND WRITTEN INFORMATION ON DRAWINGS SHALL BE COORDINATED WITH ALL TRADES PRIOR TO INSTALLATION.
- K. SCOPE OF WORK AND SPECIFICATIONS DOCUMENTS ARE INCLUDED AS CONTRACT DOCUMENT FOR THIS PROJECT. IF THEY HAVE NOT BEEN PROVIDED TO YOU FOR THIS PROJECT PLEASE ASK THE OWNER OR THE OWNER'S REPRESENTATIVE FOR A COPY OF THE APPLICABLE SECTIONS.
- L. 7/8" STUCCO OVER METAL LATH OVER BUILDING PAPER IS AN ACCEPTABLE ALTERNATE FOR E.I.F.S.

### PROJECT GENERAL NOTES



### VICINITY MAP

DESCRIPTION OF PROJECT (SCOPE OF WORK):  
Facade Remodel, Accessibility changes to restrooms, new finishes and furniture at dining room.

LEGAL JURISDICTION: CITY OF SAN JOSE, SANTA CLARA COUNTY  
BUILDING CODE: 2013 CBC, 2013 CEC, 2013 CMC, 2013 CPC, 2013 CEnc, 2013 CFC, TITLE 24  
BUILDING AREA: 1,989 S.F. SEATING: 57  
ZONING: CP (COMMERCIAL PEDESTRIAN)  
OCCUPANCY: A2  
TYPE CONSTRUCTION: VB  
NON SPRINKLERED

ELECTRIC SERVICE: 800 AMPS / 3 - PHASE / 120/280 VOLT  
EXISTING BUILDING AREA AND OCCUPANT LOAD  
TYPE AREA FACTOR OCCUPANTS  
PUBLIC - DINING ROOM 869 S.F. 1:15 SF 60  
RESTROOMS 156 S.F. 0 0  
NON-PUBLIC 675 S.F. 1:200 SF 4  
WALK-IN COOLER 250 S.F. 0 0  
TOTAL 1970 S.F. 64

### PROJECT SUMMARY

WIND SPEED: 110 M.P.H.  
EARTHQUAKE ZONE: D

ROOF LIVE LOAD: 20 P.S.F.

### DESIGN CRITERIA

SIGNAGE

CANOPIES AND AWNINGS

AUTOMATIC FIRE EXTINGUISHING SYSTEM FOR HOOD

OCCUPANT LOAD SIGN

### DEFERRED SUBMITTALS

**OWNER**  
KUMAR MANAGEMENT CO.  
551 PILGRIM DR., FOSTER CITY, CA  
CONTACT: RAKESH KUMAR  
PHONE: (650) 312-9935

**ARCHITECT**  
MARKS ARCHITECTS, INC.  
2643 4TH AVE.  
SAN DIEGO, CA 92103  
CONTACT: GABRIELA MARKS  
PHONE: (619)-702-9448

**STRUCTURAL ENGINEER**  
LOVELACE ENGINEERING  
5930 CORNERSTONE COURT W, SUITE 100  
SAN DIEGO, CA 92121-3772  
CONTACT: MILES T. LOVELACE  
PHONE: (858)-535-9111

### PROJECT DIRECTORY

**SEWER**  
SAN JOSE CITY HALL - 7TH FLOOR -  
WATERSHED PROTECTION DIVISION  
200 EAST SANTA CLARA STREET  
SAN JOSE, CA 95113  
PHONE: (408) 945-3000

**TRASH**  
REPUBLIC SERVICES  
1601 DIXON LANDING ROAD  
MILPITAS, CA 95035  
PHONE: (408) 282-1401

**HEALTH**  
COUNTY OF SANTA CLARA -  
DEPARTMENT OF ENVIRONMENTAL HEALTH  
1555 BERGER DRIVE, STE. 300  
SAN JOSE, CA 95112  
PHONE: (408) 918-3400

### UTILITY CONTACTS

TITLE  
T1.0 - TITLE SHEET

SITE  
A0.1 SITE PLAN AND INFORMATION  
A0.2 SITE DETAILS

DEMOLITION  
D1.0 DEMOLITION FLOOR PLAN  
D3.0 DEMOLITION EXTERIOR ELEVATIONS

**ARCHITECTURAL**  
A1.0 FLOOR PLAN  
A1.1 DOOR / WINDOW DETAILS AND SCHEDULES  
A2.0 SEATING AND EQUIPMENT PLAN  
A3.0 ROOF PLAN  
A4.0 EXTERIOR ELEVATIONS  
A4.1 EXTERIOR ELEVATIONS  
A5.0 WALL SECTIONS  
A5.1 WALL SECTIONS  
A6.0 FINISH DETAILS  
A6.1 CONSTRUCTION DETAILS  
A7.0 FLOOR FINISH PLAN  
A7.1 REFLECTED CEILING PLAN  
A7.2 FINISH SCHEDULES  
A8.0 INTERIOR ELEVATIONS - DINING ROOM  
A8.1 INTERIOR ELEVATIONS - ENLARGED RESTROOM PLAN

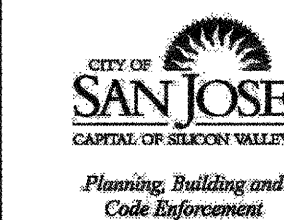
**ACCESSIBILITY**  
ADA 1.0 ACCESSIBILITY REQUIREMENTS  
ADA 1.1 ACCESSIBILITY REQUIREMENTS

**STRUCTURAL**  
S0.0 GENERAL NOTES  
S1.0 STRUCTURAL PLAN  
S4.1 STRUCTURAL DETAILS  
S4.2 STRUCTURAL DETAILS

**ELECTRICAL/MECHANICAL**  
ME1.0 LIGHTING PLAN & SCHEDULE  
E2.0 TITLE 24 CALCULATIONS  
E2.1 TITLE 24 CALCULATIONS  
E2.2 TITLE 24 CALCULATIONS  
E2.3 TITLE 24 CALCULATIONS

**PLUMBING**  
P1.0 PLUMBING PLAN

### SHEET INDEX



FORM #300 09/2015

## Accessibility Compliance Form

This form provides the Applicant's verification that the proposed construction will conform to California Building Code accessibility requirements.

### ACCESSIBILITY COMPLIANCE DECLARATION

PROJECT ADDRESS: 1298 S. WINCHESTER BLVD. SAN JOSE, CA

I have surveyed the building at the above address for compliance with required accessibility features per the California Building Code. Proposed alteration work will include any upgrades required to provide compliance with accessibility features serving the area of work as described in section CBC 11B-202. I acknowledge the following scope of required upgrades:

- CHECK ONE BOX  
☐ The existing required accessibility features serving the area of work are in conformance with California Building Code.  
☒ Upgrades to the existing condition are proposed to provide full compliance with required accessibility features serving the area of work in conformance with California Building Code.

☐ The feasibility of the proposed work will be severely impacted if full accessibility compliance is provided. Not all access features will be provided with the proposed scope of work, thus an Unreasonable Hardship determination is sought. Upgrades will be provided for all features not exempted in the approved Accessibility Unreasonable Hardship Application.

10/28/16  
DATE  
PRINT NAME  
GABRIELA MARKS  
I am the: ☐ Project Designer ☐ Business Owner ☒ Other ARCHITECT

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1/Place-building/Building Division Collection/0011111111

1/Place-building/Building Division Collection/0011111111



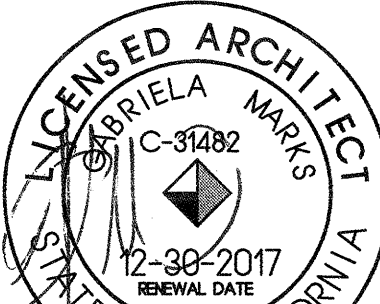
### ACCESSIBILITY COMPLIANCE FORM

marks  
architects

architecture  
interior design  
retail  
restaurants  
space planning  
master planning  
lead accredited  
casp

2643 fourth ave.  
san diego ca 92103  
619-702-9448

71905 hwy 111 #1  
rancho mirage ca 92270  
760-610-5264



marks architects 2016  
ALL REPORTS, PLANS AND  
DOCUMENTS PREPARED BY MARKS  
ARCHITECTS SHALL REMAIN THE  
PROPERTY OF MARKS ARCHITECTS  
AND IS INTENDED FOR USE FOR THIS  
SPECIFIC PROJECT ONLY.

PRELIMINARY REVIEW 01.20.16  
BLDG. DEPT. SUBMITTAL 07.11.16  
BLDG. DEPT. CORR 11.01.16

TACO BELL  
1298 WINCHESTER BLVD.  
SAN JOSE, CA



M70H  
EXPLORER  
REVERSE

### TITLE SHEET

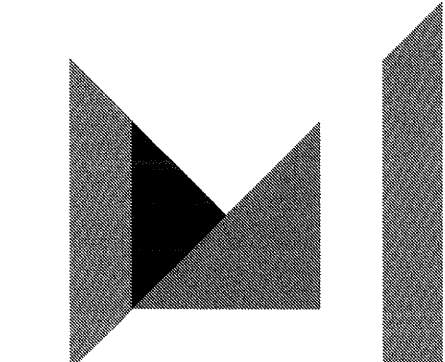
# T1.0

PC# 16-126140 (OFFICE) DEMO 16-147044



Feature or Measure	Required	SHEET	Feature or Measure	Required	SHEET
<b>SITE DEVELOPMENT (5.106)</b>			<b>OUTDOOR WATER USE (5.304) cont'd</b>		
<b>Bicycle parking.</b> Comply with Sections 5.106.4.1 and 5.106.4.2, or meet local ordinance, whichever is stricter. <b>Short-term bicycle parking.</b> If the project is anticipated to generate visitor traffic, provide permanently anchored bicycle racks within 200 feet of the visitors' entrance, readily visible to passers-by, for 5% of visitor motorized vehicle parking capacity, with a minimum of one two-bike capacity rack. <b>Long-term bicycle parking.</b> For buildings with over 10 tenant-occupants, provide secure bicycle parking for 5% of tenant-occupied motorized vehicle parking capacity, with a minimum of one space.	X	A0.1	<b>Irrigation design.</b> In new nonresidential construction or building additions or alteration projects with at least 1000 but not more than 2500 square feet of cumulative landscaped area (the level at which the MLO applies), install irrigation controllers and sensors which include the following criteria, and meet manufacturer's recommendations. 5.304.3.1 Irrigation controllers. Automatic irrigation system controllers installed at the time of final inspection shall comply with the requirements of 5.304.3.1.		(E) IRRIGATION TO REMAIN.
<b>Designated parking.</b> Provide designated parking for any combination of low-emitting, fuel efficient, and carpool/van pool vehicles as shown on Table 5.106.5.2.	X	A0.1	<b>WEATHER RESISTANCE AND MOISTURE MANAGEMENT (5.407)</b>		
<b>Light pollution reduction.</b> Outdoor lighting systems shall be designed and installed to comply with the following: 1. The minimum requirements in the California Energy Code (CEC) for Lighting Zones 1-4; and 2. Backlight, Uplight and Glare (BUG) ratings as defined in IESNA TM-15-11; and 3. Allowable BUG ratings not exceeding those shown in Table 5.106.8.		N/A NO NEW SITE LIGHTING	<b>Weather protection.</b> Provide a weather-resistant exterior wall and foundation envelope as required by California Building Code Section 1403.2 and California Energy Code Section 150, manufacturer's installation instructions, or local ordinance, whichever is more stringent.	X	A5.0
<b>Exceptions:</b> 1. Luminaires that qualify as exceptions in Section 147 of the CEC. 2. Emergency lighting.			<b>Moisture control.</b> Employ moisture control measures by the following methods; <b>Sprinklers.</b> Prevent irrigation spray on structures. <b>Entries and openings.</b> Design exterior entries and openings to prevent water intrusion into buildings.	X	N/A A4.0
<b>WATER EFFICIENCY AND CONSERVATION</b>			<b>CONSTRUCTION WASTE REDUCTION, DISPOSAL AND RECYCLING (5.408)</b>		
<b>INDOOR WATER USE (5.303)</b>			<b>A minimum of 75% of the construction waste generated at the site is diverted to recycle or salvage. This is achieved either by using City pre-certified landfills or implementation of a waste management plan. Waste management plan shall be pre-approved by Environmental Services Department.</b>	X	BY G.C.
<b>Meters.</b> Separate meters shall be installed for the uses described in Sections 503.1.1 through 503.1.3. <b>Buildings in excess of 50,000 square feet.</b> Separate submeters shall be installed as follows: 1. For each individual leased, rented, or other tenant space within the building projected to consume more than 100 gal/day. 2. For spaces used for laundry or cleaners, restaurant or food service, medical or dental office, laboratory, or beauty/salon or barber shop projected to consume more than 100 gal/day. A separate submeter or metering device shall be provided for any tenant within a project or space within a building that is projected to consume more than 1,000 gal/day.		N/A SINGLE-TENANT BUILDING	<b>BUILDING MAINTENANCE AND OPERATION (5.410)</b>		
<b>Water reduction.</b> Plumbing fixtures shall not exceed the maximum flow rate values show in Table 5.303.2.2.	X	P1.0	<b>Recycling by occupants.</b> Provide readily accessible areas that serve the entire building and are identified for the depositing, storage, and collection of non-hazardous materials for recycling.	X	A2.0
<b>Wastewater reduction.</b> Each building shall reduce by 20% wastewater by one of the following methods: 1. The installation of water-conserving fixtures meeting criteria in section 5.303.2 or 5.303.3, or 2. Utilizing non-potable water systems	X	P1.0 N/A	<b>Commissioning.</b> For new buildings 10,000 square feet and over, building commissioning for all building systems covered by T24, Part 6, process systems, and renewable energy systems shall be included in the design and construction processes of the building project. Commissioning requirements shall include items listed in 5.410.2. <b>Owner's Project Requirements (OPR).</b> Documented before the design phase of the project begins the OPR shall include items listed in 5.410.4. <b>Basis of Design (BOD).</b> A written explanation of how the design of the building systems meets the OPR shall be completed at the design phase of the building project and updated periodically to cover the systems listed in 5.410.2.2. <b>Commissioning plan.</b> A commissioning plan describing how the project will be commissioned shall be started during the design phase of the building project and shall include items listed in 5.410.2.3. <b>Functional performance testing</b> shall demonstrate the correct installation and operation of each component, system, and system-to-system interface in accordance with the approved plans and specifications. <b>Documentation and training.</b> A Systems Manual and Systems Operations Training are required. <b>Systems manual.</b> The Systems Manual shall be delivered to the building owner or representative and facilities operator and shall include the items listed in 5.410.2.5.1. <b>Systems operations training.</b> The training of the appropriate maintenance staff for each equipment type and/or system shall include items listed in 5.410.2.5.2.		N/A (E) BUILDING <10,000 S.F. N/A N/A N/A N/A N/A
<b>Plumbing Fixtures and Fittings.</b> Plumbing fixtures shall be installed in accordance with the California Plumbing Code (CPC).	X	P1.0	<b>Commissioning report.</b> A complete report of commissioning process activities undertaken through the design, construction and reporting recommendations for post-construction phases of the building project shall be completed and provided to the owner or representative.		
<b>OUTDOOR WATER USE (5.304)</b>			<b>Testing and adjusting.</b> Testing and adjusting of systems shall be required for new buildings less than 10,000 square feet, or new systems to serve and addition or alteration. <b>Systems.</b> Develop a written plan of procedures for testing and adjusting systems. Systems to be included for testing and adjusting shall include, as applicable to the project, the systems listed in 5.410.3.2. <b>Procedures.</b> Perform testing and adjusting procedures in accordance with industry best practices and applicable national standards on each system. <b>HVAC balancing.</b> Before a new space-conditioning system serving a building or space is operated for normal use, the system should be balanced in accordance with the procedures defined by national standards listed in 5.410.4.3.1. <b>Reporting.</b> After completion of testing, adjusting and balancing, provide a final report of testing signed by the individual responsible for performing these services. <b>Operation and maintenance manual.</b> Provide the building owner with detailed operating and maintenance instructions and copies of guarantees/warranties for each system prior to final inspection. <b>Inspections and reports.</b> Include a copy of all inspection verifications and reports required by the enforcing agency.		N/A N/A N/A N/A N/A N/A
<b>Water budget.</b> A water budget shall be developed for landscape irrigation use.		N/A	<b>ENVIRONMENTAL QUALITY</b>		
<b>Outdoor potable water use.</b> For new water service, or for addition or alteration requiring upgraded water service for landscaped areas with at least 1000 square feet but not more than 5000 square feet, separate meters or submeters shall be installed for indoor and outdoor potable water use		(E) LANDSCAPE TO REMAIN, NO WORK.	<b>POLLUTANT CONTROL (5.504)</b>		
			<b>Covering of duct openings and protection of mechanical equipment during construction.</b> At the time of rough installation, or during storage on the construction site and until final startup if the heating and cooling equipment, all duct and other related air distribution component openings shall be covered with tape, plastic, sheet metal or reduce the amount of dust or debris which may collect in the system.	X	A7.1
			<b>Finish material pollutant control.</b> Finish materials shall comply with Sections 5.504.4.1 through 5.504.4.4. Adhesives, sealants, caulks. Adhesives and sealants used on the project shall meet the requirements of the following standards identified in section 5.504.4.1, and tables 5.504.4.1 and 5.504.4.2.		N/A
			<b>Paints and coatings.</b> Architectural paints and coatings shall comply with Table 5.504.4.3 unless more stringent local limits apply. <b>Aerosol Paints and Coatings.</b> Aerosol paints and coatings shall meet the Product-Weighted MIR Limits for ROC in section 94522(a)(3) and other requirements, including prohibitions on use of certain toxic compounds and ozone depleting substances (CCR, Title 17, Section 94520 et seq). <b>Verification.</b> Verification of compliance with this section shall be provided at the request of the enforcing agency.		N/A N/A N/A N/A N/A
			<b>Carpet systems.</b> All carpet cushion installed in the building interior shall meet the testing and product requirements of one of the standards listed in 5.504.4.4. <b>Carpet cushion.</b> All carpet cushion installed in the building interior shall meet the requirements of the Carpet and Rug Institute Green Label program. <b>Carpet adhesive.</b> All carpet adhesive shall meet the requirements of Table 5.504.4.1.		
			<b>Composite wood products.</b> Hardware plywood, particleboard, and medium density fiberboard composite wood products used on the interior or exterior of the building shall meet the requirements for formaldehyde as specified in Table 5.504.4. <b>Documentation.</b> Verification of compliance with this section shall be provided as requested by the enforcing agency. Documentation shall include at least one of the following: 1. Product certifications and specifications. 2. Chain of custody certifications. 3. Other methods acceptable to the enforcing agency.		
			<b>Resilient flooring systems.</b> For 80% of floor area receiving resilient flooring, installed resilient flooring shall meet at least one of the requirements of section 5.504.4.6. <b>Verification of compliance.</b> Documentation shall be provided verifying that resilient flooring materials meet the pollutant emission limits.		N/A N/A
			<b>Filters.</b> In mechanically ventilated buildings, provide regularly occupied areas of the building with air filtration media for outside and return air prior to occupancy that provides at least a MERV of 8.		N/A

2013 CALGREEN NON-RESIDENTIAL MANDATORY MEASURES CHECKLIST



marks  
architects

architecture  
interior design  
retail  
restaurants  
space planning  
master planning  
leed accredited  
csp

2643 fourth ave.  
san diego ca 92103  
619-702-9448

71905 hwy 111 #1  
ranchito mirage ca 92270  
760-610-5264



marks architects 2016  
ALL REPORTS, PLANS AND  
DOCUMENTS PREPARED BY MARKS  
ARCHITECTS SHALL REMAIN THE  
PROPERTY OF MARKS ARCHITECTS  
AND IS INTENDED FOR USE FOR THIS  
SPECIFIC PROJECT ONLY.

PRELIMINARY REVIEW	01.20.16
BLDG. DEPT. SUBMITTAL	07.11.16
BLDG. DEPT. CORR	11.01.16

CITY OF SAN JOSE  
BUILDING DIVISION  
B.P.# \_\_\_\_\_  
DATE \_\_\_\_\_

TACO BELL  
1238 WINCHESTER BLVD.  
SAN JOSE, CA



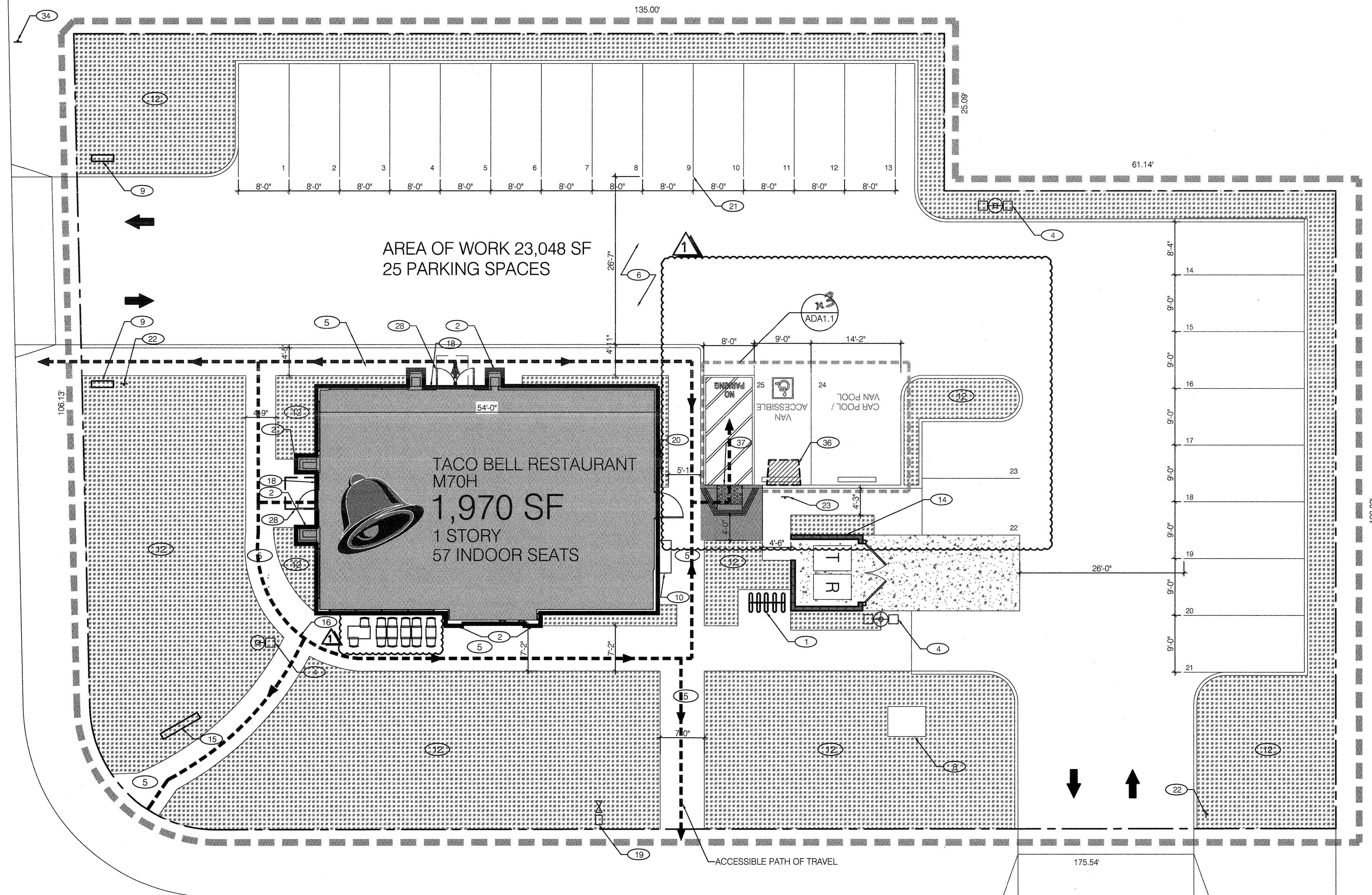
**CAL-GREEN  
NON-RESIDENTIAL  
MANDATORY  
MEASURES**

**GB1.0**



SOUTH WINCHESTER BLVD.

PAYNE AVE.



- 1 (E) BIKE RACKS
- 2 EXISTING TOWER FINISH TO BE REMOVED. REFER TO A4.0 & A4.1 SHEETS
- 3 NEW CANOPY. SEE DETAIL 2/C1.0.
- 4 (E) PARKING LOT LIGHTS
- 5 EXISTING SIDEWALKS TO REMAIN U.O.N. WALKWAYS AND SIDEWALKS ALONG ACCESSIBLE ROUTES OF TRAVEL SHALL BE CONTINUOUSLY ACCESSIBLE; HAVE MAXIMUM 1/4" CHANGES IN ELEVATION, OR PROVIDE CURB RAMPS COMPLYING WITH CBC 11B-406; ARE MINIMUM 48" IN WIDTH; AND WHERE NECESSARY TO CHANGE ELEVATION AT A SLOPE EXCEEDING 5% SHALL HAVE PEDESTRIAN RAMPS COMPLYING WITH CBC 11B-405. CBC 11B-202.4
- 6 (E) PARKING LOT.
- 7 (E) 'ENTER' SIGN
- 8 (E) TRANSFORMER PAD
- 9 (E) EXIT SIGN
- 10 (E) ELECTRICAL MAIN SWITCHBOARD
- 11 CONFIRM EXISTING LOT LIGHTING LEVELS TO COMPLY WITH TACO BELL STANDARDS. SEE SHEET E1.0 FOR TACO BELL LOT LIGHTING STANDARDS. NEW LANDSCAPE. SEE SHEET L1.0
- 12 MODIFY / ADJUST SIDEWALK AS REQUIRED TO ACCOMMODATE PROPER EGRESS AND CIRCULATION DUE TO TOWER MODIFICATIONS.
- 13 (E) TRASH ENCLOSURE. PAINT TO MATCH MAIN BUILDING WALL.
- 14 REFURBISH MONUMENT SIGN TO NEW CONDITION
- 15 ACCESSIBLE PATH OF TRAVEL
- 16 (E) 'DO NOT ENTER' SIGN TO REMAIN.
- 17 PROVIDE INTERNATIONAL SYMBOL OF ACCESSIBILITY SIGN.
- 18 (E) WATER METER
- 19 (E) GAS METER.
- 20 RESTRIPE (E) PARKING LOT
- 21 PROVIDE A 'TOW AWAY SIGN' AT ALL DRIVEWAYS. REFER TO DETAIL 4/A.02
- 22 PROVIDE A 'VAN ACCESSIBLE' AND 'MINIMUM FINE' SIGN. REFER TO DETAIL 12/ADA1.1
- 23 (N) TRUNCATED DOMES
- 24 (E) ACCESSIBLE RAMP AND LANDING
- 25 G.C. VERIFY THAT SLOPE DOES NOT EXCEED 2% ON ANY DIRECTION, IF IT
- 26 (E) VAN ACCESSIBLE PARKING SPACE
- 27 (E) VAN ACCESSIBLE SIGN. PER DETAIL 6/C1.1
- 28 (E) ACCESSIBLE PARKING SPACE
- 29 (E) WHEEL STOP
- 30 ACCESSIBLE PATH OF TRAVEL
- 31 (E) HANDICAP SYMBOL
- 32 NOT USED
- 33 (E) BUS STOP TO REMAIN
- 34 CLEAR AND LEVEL SPACE 60'X60' AT ENTRANCE SHOULD NOT EXCEED 2% IN ANY DIRECTION.
- 35 DEMO EXISTING RAMP. PROVIDE NEW ASPHALT CROSS SLOPE NOT TO EXCEED 2% ON DIRECTION OF TRAVEL.
- 36 (N) LANDING. 2% MAX. SLOPE IN ALL DIRECTIONS. PROVIDE TRUNCATED DOMES PER DETAIL 18/ADA1.1.
- 37 (N) RAMP/ REFER TO DETAIL 3/ADA1.1
- 38

KEYNOTES N.T.S. B

LOT COVERAGE	SQUARE FEET	PERCENTAGE
SITE AREA	23,048 SF	100%
BUILDING AREA	1,970 SF	8.53%
PARKING AREA	13,727.53 SF	59.58%
LANDSCAPE AREA	7,350.47 SF	31.89%

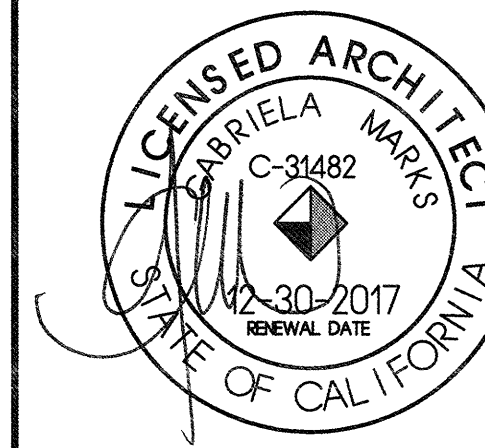
PARKING ANALYSIS	SPACES REQUIRED	SPACES PROVIDED
RESTAURANT 1,970 @ 10/1000	20	23
NUMBER OF ACCESSIBLE SPACES	1	1
NUMBER OF VAN ACCESSIBLE SPACES	1	1
TOTAL PARKING		25

PARKING ANALYSIS N.T.S. C



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SITE  
PLAN

A0.1

SITE PLAN 1" = 10'-0" D



NOT USED

N.T.S.

17

NOT USED

3/8" = 1'-0"

10

NOT USED

3/8" = 1'-0"

2

NOT USED

N.T.S.

16

NOT USED

N.T.S.

11

NOT USED

N.T.S.

12

NOT USED

N.T.S.

8

NOT USED

NTS

3

22' AT DRIVEWAY ENTRANCES

80"

17" AT DRIVEWAY ENTRANCE

UNAUTHORIZED VEHICLES PARKED IN DESIGNATED ACCESSIBLE SPACES NOT DISPLAYING DISTINGUISHING PLACARDS OR SPECIAL LICENSE PLATES ISSUED FOR PERSONS WITH DISABILITIES WILL BE TOWED AWAY AT OWNER'S EXPENSE. TOWED VEHICLE MAY BE RECLAIMED BY CONTACTING THE CITY OF SAN JOSE POLICE DEPARTMENT AT (408)-277-8900

BLACK LETTERS ON WHITE BACKGROUND

TOW AWAY SIGN

NTS

4

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LICENSED ARCHITECT  
GABRIELA MARKS  
C-31482  
12-30-2017  
RENEWAL DATE  
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TACO BELL

M70H  
EXPLORER  
REVERSE

1

SITE  
DETAILS

A0.2

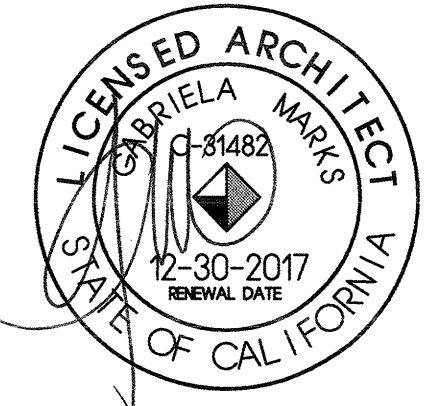


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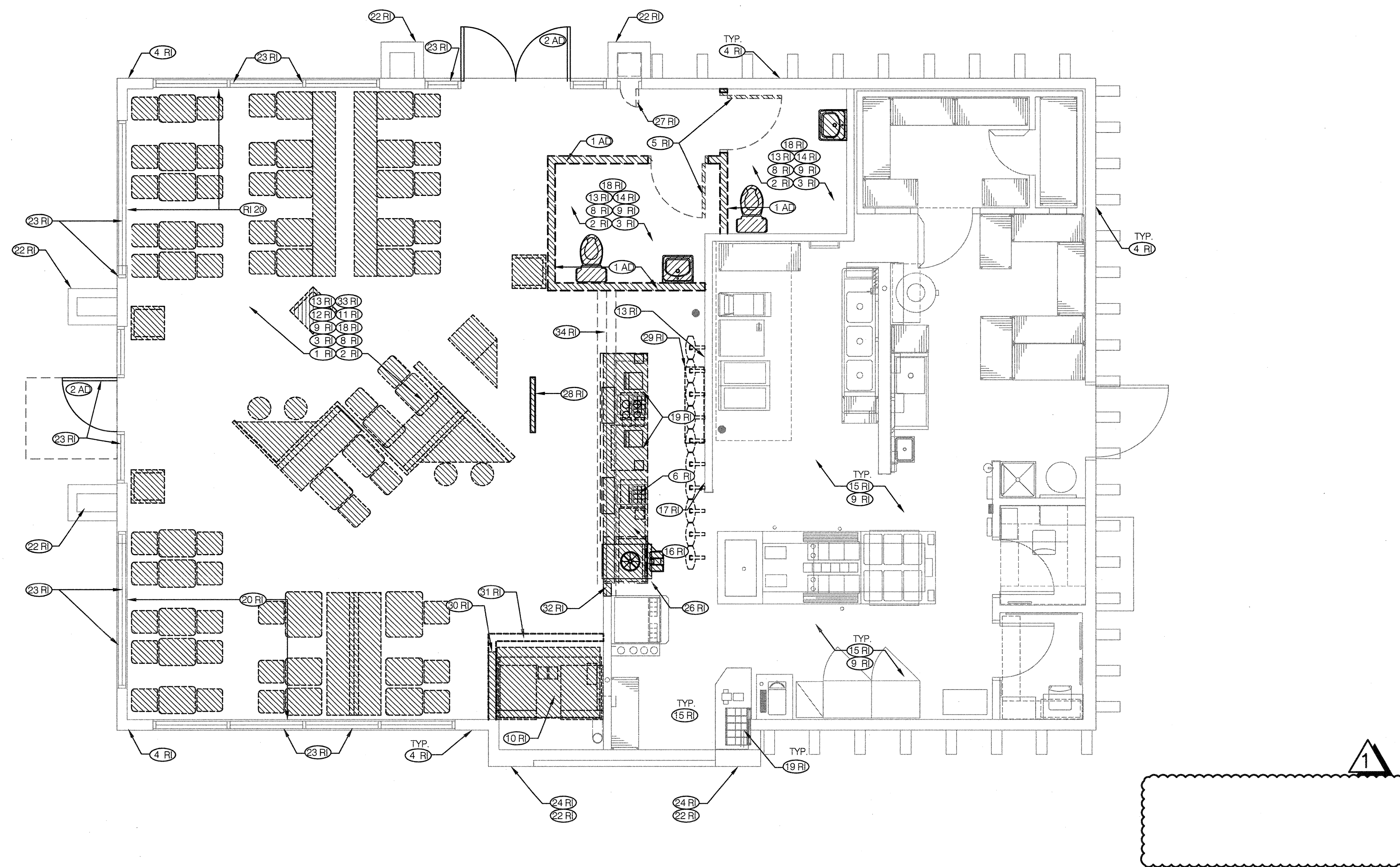
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EXPLORER  
REVERSE

**DEMO  
FLOOR  
PLAN**

**D1.0**



**DEMOLITION FLOOR PLAN** 1/4"=1'-0" **A**

	TYPICAL EXISTING EXTERIOR WALL: 2x6 WOOD STUDS @16\"/>
	TYPICAL EXISTING INTERIOR WALL TO REMAIN: 2x4 WOOD STUDS @16\"/>
	DEMO ITEMS AS INDICATED (SEE KEY NOTES)

**DEMOLITION LEGEND** **F**

- A. INSPECT INTERIOR AND EXTERIOR WALLS. REPLACE ANY DAMAGED SUBSTRATE WALLS ETC. INSPECT DINING ROOM WINDOWS & WALLS BELOW WINDOWS FOR EVIDENCE OF MOISTURE DAMAGE & IMPROPERLY INSTALLED FLASHING. VERIFY WITH OWNER.
- B. ROOF RECOMMENDATIONS: INSPECTION OF EXISTING ROOF BY QUALIFIED ROOFER IS RECOMMENDED. REPLACE ROOF IF WARRANTED. VERIFY ALL ACTIONS WITH OWNER.
- C. SEE SITE PLAN FOR ANY SITE DEMO WORK.
- D. DRINK SYSTEM AND FRUITISTA MACHINE SHALL BE TEMPORARILY RELOCATED PER STORE MANAGERS DIRECTION BY AUTHORIZED TECHNICIANS. OWNER SHALL COORDINATE.

**DEMOLITION NOTES** **D**

**REMODEL IMAGE (RI)**

- (1 RI) REMOVE ALL DINING AREA SEATS, TABLES, TRASH ENCLOSURES, DIVIDER WALLS, PLANTS, QUEUING LINE & DRINK STATION
- (2 RI) REMOVE ALL EXISTING TILE FLOORING & COVE BASE IN DINING AREA, CUSTOMER AREA, CORRIDOR, WOMEN'S RESTROOM & MEN'S RESTROOM.
- (3 RI) REMOVE EXISTING SPEAKERS, SECURITY EQUIPMENT & SMOKE DETECTORS. SAVE FOR REINSTALLATION. SEE REFLECTED CEILING PLAN.
- (4 RI) PATCH STUCCO/EIFS AS REQUIRED. MATCH TEXTURE.
- (5 RI) REMOVE EXISTING RESTROOM DOORS AND FRAMES.
- (6 RI) FRONT COUNTER AND DIE WALL TO BE REFINISHED UNLESS ADA WORK IS REQUIRED. REFINISH GUIDE T.B.D. BY DECOR VENDOR.
- (7 RI) NOT USED.
- (8 RI) REMOVE MECHANICAL REGISTERS.
- (9 RI) REMOVE EXISTING FLUORESCENT LIGHT FIXTURES WITHIN THE DINING ROOM, CORRIDOR, KITCHEN AND RESTROOM.
- (10 RI) REMOVE EXISTING DRINK TABLE, PEPSI AND ICE MACHINES. SAVE PEPSI AND ICE MACHINES FOR REINSTALLATION.
- (11 RI) EXISTING DINING ROOM SOFFITS AND BULKHEADS TO REMAIN. PATCH, REPAIR, AND PAINT, U.O.N.
- (12 RI) PATCH CONCRETE SLAB AND CORE HOLES AS NEEDED
- (13 RI) REMOVE EXISTING WALL TILE & SUBSTRATE IN DINING ROOM, RESTROOM AND CORRIDOR
- (14 RI) REMOVE EXISTING SINKS, TOILETS, URINAL & ACCESSORIES FOR INSTALLATION OF NEW TILE.
- (15 RI) PROTECT EXISTING EQUIPMENT FROM DUST AND DEBRIS.
- (16 RI) SAFE TO BE RELOCATED
- (17 RI) REMOVE EXISTING MENU BOARD, SAVE FOR REINSTALLATION.
- (18 RI) REPAIR WALL DAMAGE WHERE TILE AND TILE BASE ARE REMOVED.
- (19 RI) POS REGISTERS SHOULD NOT BE DISCONNECTED FROM NETWORK UNLESS PAR TECHNICIAN IS PRESENT. RELOCATE DURING COSTRUCTION.
- (20 RI) EXISTING SUBSTRATE TO BE REMOVED BELOW EXISTING WINDOWS TO INSPECT FRAMING FOR DAMAGE. REPLACE IF REQUIRED.
- (21 RI) REMOVE WINDOW FRAME AND GLAZING.
- (22 RI) EXISTING TOWER TO BE MODIFIED. SEE WALL SECTIONS FOR EXTENT OF DEMOLITION
- (23 RI) PROTECT EXISTING STOREFRONT & DOOR OR WINDOW & FRAME TO REMAIN.
- (24 RI) EXISTING FINISH TO BE REMOVED. SEE D3.0.
- (25 RI) NOT USED.
- (26 RI) IF FRUITISTA MACHINE IS LOCATED ON SERVICE COUNTER IT MUST BE MOVED TO ALLOW INSTALL OF NEW COUNTER. OWNER SHALL COORDINATE W/ AUTHORIZED SERVICE TECHNICIAN.
- (27 RI) DEMO CLOSET DOOR AND FRAME IF IN POOR CONDITION.

- (28 RI) DEMO QUEUE RAIL
- (29 RI) DEMO CUP HOLDER
- (30 RI) DEMO INTERIOR NON-BEARING WALL.
- (31 RI) DEMO SOFFIT
- (32 RI) DEMO PORTION OF WALL AS REQUIRED TO BE FLUSH WITH MENUBOARD BULKHEAD.
- (33 RI) REMOVE EXISTING CEILING TILES IN DINING ROOM. EXISTING FLEX DUCTWORK, SOFFITS AND GRID TO REMAIN.
- (34 RI) REMOVE STEPPED SOFFIT AT FRONT COUNTER.

**ADA NOTES (AD)**

- (1 AD) DEMO PORTION OF WALL.
- (2 AD) VERIFY STOREFRONT DOOR COMPLIES WITH ADA REQUIREMENTS. REPLACE IF NECESSARY.

**CUSTOMER TOUCH POINT (CT)**

**DEMOLITION KEY NOTES** **B**

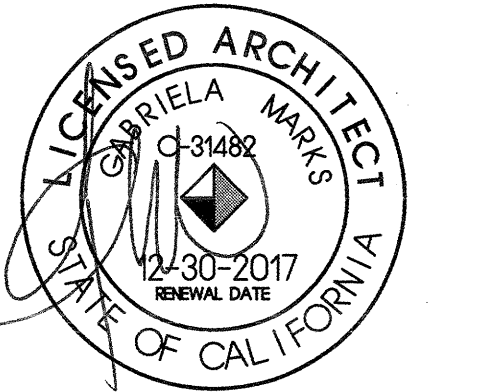


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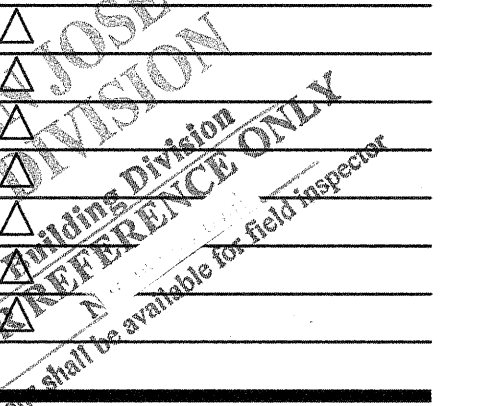
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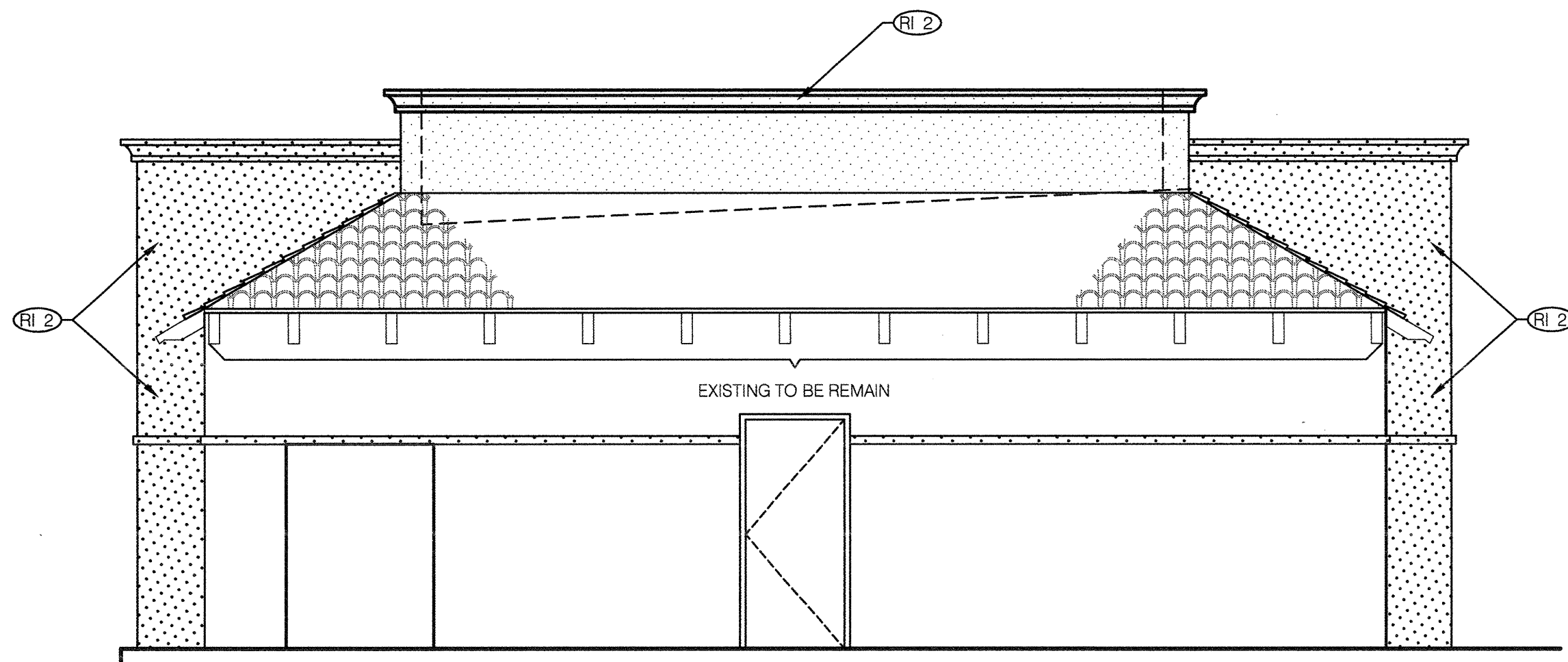
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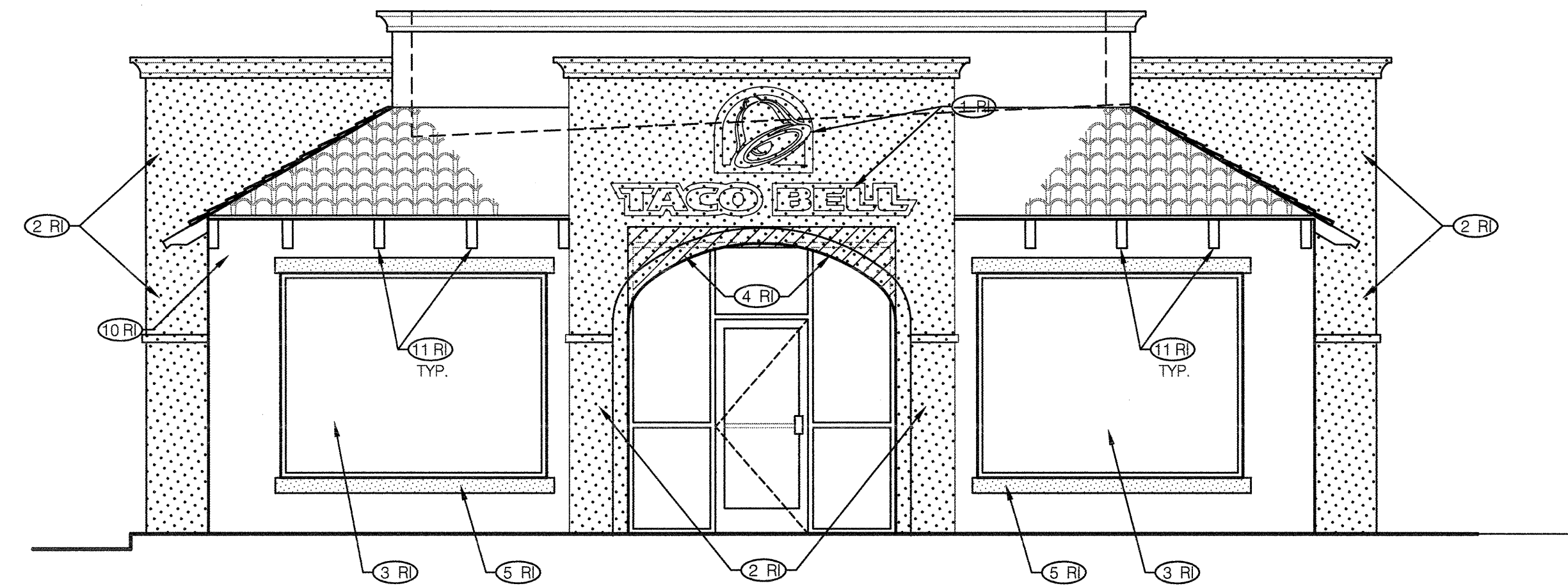
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DEMOLITION  
EXTERIOR  
ELEVATIONS

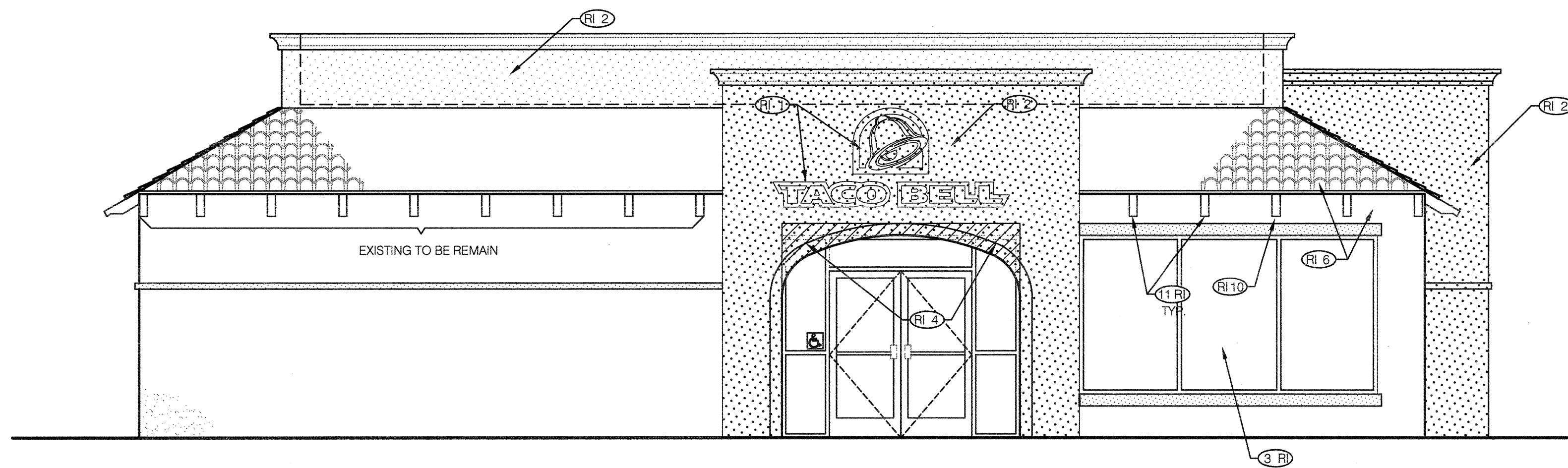
D3.0



REAR ELEVATION 1/4" = 1'-0" F



FRONT ELEVATION 1/4" = 1'-0" A



WALK UP SIDE ELEVATION 1/4" = 1'-0" D

- EXISTING TO BE REMOVED
- EXISTING FINISH TO BE REMOVED, STRUCTURE TO REMAIN AND RETROFITTED PER NEW DESIGN. IF EXISTING TOWER WAS INSTALLED AS A PREFABRICATED COMPONENT, REMOVE AND REPLACE.
- SEE KEY NOTE #10

DEMOLITION LEGEND B

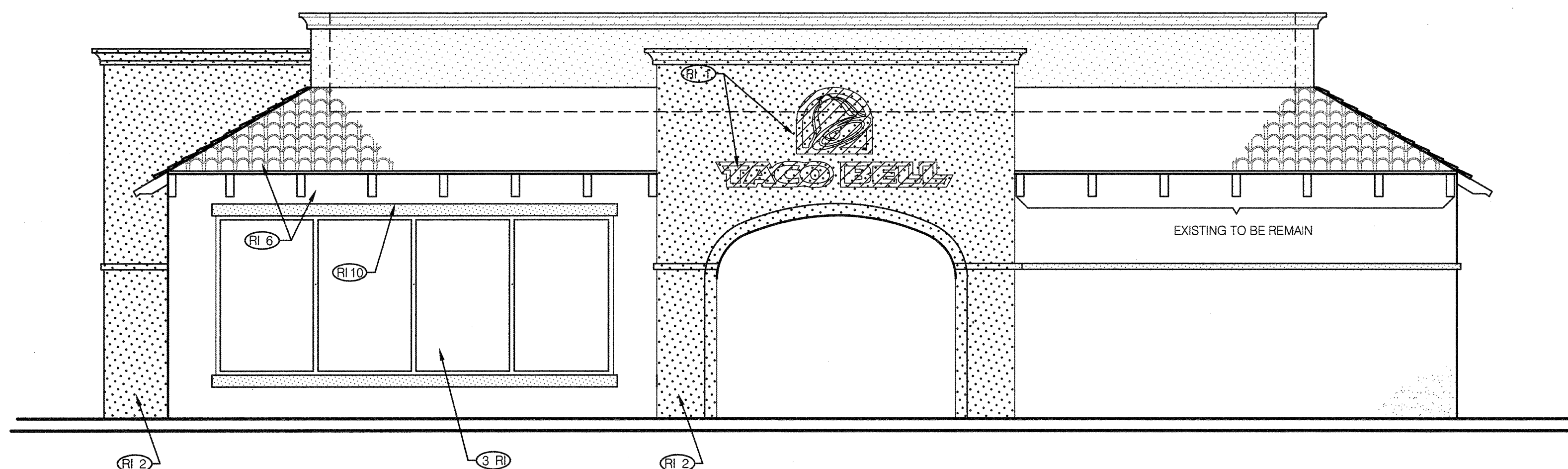
REMODEL IMAGE (RI)

- (1 RI) EXISTING BUILDING SIGNS TO BE REMOVED.
- (2 RI) EXISTING TOWER FINISH TO BE REMOVED. EXISTING ROOF DRAINS WITHIN TOWER TO REMAIN.
- (3 RI) EXISTING WINDOW TO BE REMAIN.
- (4 RI) PORTION OF WALL OR TOWER TO BE REMOVED AS INDICATED. PROTECT EXISTING STRUCTURE AND STOREFRONT.
- (5 RI) EXISTING FINISH TO BE REMOVED. STRUCTURE TO REMAIN. SEE DEMOLITION LEGEND.
- (6 RI) REMOVE EXISTING FASCIA AND FRAMED SOFFIT FINISH.
- (7 RI) IF SIGNAGE IS NOT PRESENT, REMOVE PORTION OF REAR TOWER ABOVE 14'-0".
- (8 RI) EXISTING SIGN TO REMAIN, IF EXISTING.
- (9 RI) DEMO PRICE CONFIRMATION PATCH AS REQUIRED.
- (10 RI) IF BACKLIT AWNING IS PRESENT, DEMO AND INSTALL NEW FRAMED AWNING PER DETAIL 1/A6.
- (11 RI) TRIM JOISTS FLUSH WITH EDGE OF ROOF.

ADA NOTES (AD)

CUSTOMER TOUCH POINT (CT)

KEYNOTES C

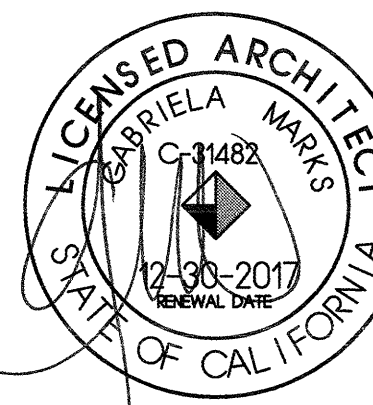


DRIVE THRU SIDE ELEVATION 1/4" = 1'-0" E





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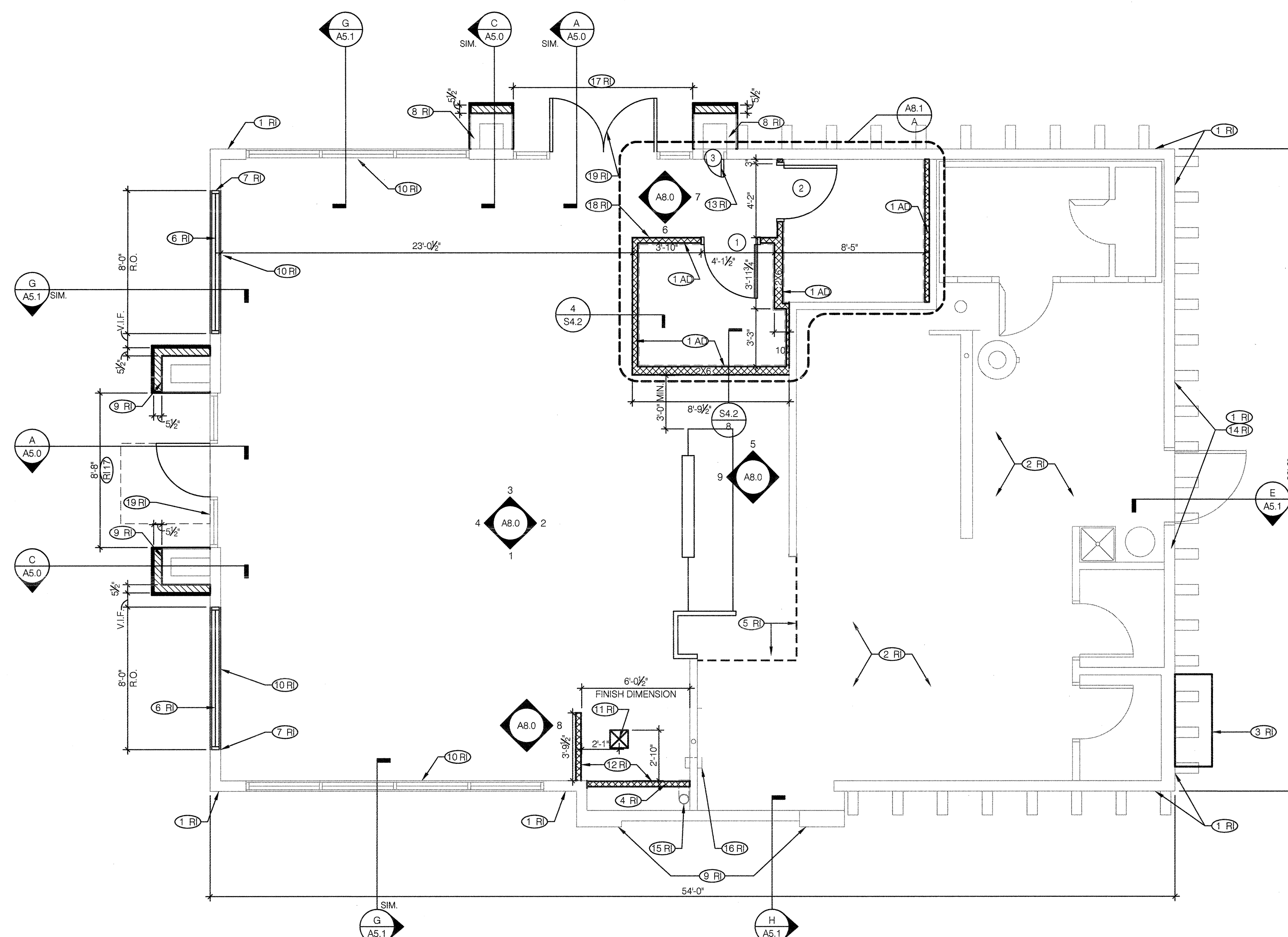
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M70H  
EXPLORE  
REVERSE

## FLOOR PLAN

# A1.0



<b>FLOOR PLAN</b>	$1/4" = 1'-0"$	<b>A</b>
-------------------	----------------	----------

## WALL LEGEND

1

### FLOOR PLAN NOTES

--	--

## KEY NOTES

--	--

TYPICAL NEW EXTERIOR WALL:  
2x6 STUDS @ 16" O.C. W/ 1/2" EXTERIOR  
GRADE SHEATHING.  
WALL STUDS SHALL BE CONTINUOUS

TYPICAL NEW INTERIOR WALL:  
2x4 WD STUDS (2X6 WHERE NOTED) AT  
16" O.C. W/ 1/2" GYP. BD. SUBSTRATE  
U.O.N. USE MOISTURE RESISTANT GYP.  
BD. BEHIND ALL CERAMIC WALL TILE.  
U.O.N.  
ACCEPTABLE ALTERNATE:  
METAL STUDS IN LIEU OF WOOD STUDS

DECOR:  
 ASEE A2.0 FOR SEATING PLAN AND DETAILS.  
 BSEE A7.0 FOR FLOOR FINISHES.  
 CSEE A8.0 - A8.2 FOR WALL FINISHES.  
 DSEE A7.1 FOR CEILING FINISHES.

GENERAL:  
ADRAWINGS ARE BASED UPON WOOD FRAMING. UTILIZATION OF METAL STUDS ON  
NON-BEARING INTERIOR PARTITIONS, BULKHEADS AND SOFFITS IS ACCEPTABLE.  
BALL ATTACHMENTS MADE THROUGH E.I.F.S. SHALL BE BUSHED TO PREVENT DAMAGE TO  
THE FINISH.  
CALL PENETRATIONS THROUGH E.I.F.S. SHALL BE SEALED USING MFRS. APPROVED  
METHOD.

**DIMENSIONS:**

A. DIMENSIONS THAT ORIGINATE FROM EXISTING ELEMENTS OF THE BUILDING ARE FROM FACE OF FINISH. ALL OTHER DIMENSIONS ARE TO FACE OF STUD U.O.N. REFER TO FOUNDATION PLAN FOR FACE OF CONC. DIMENSIONS.

B. DIMENSIONS NOTED AS "CLEAR" OR "HOLD" ARE MIN. REQ'D. NET CLEARANCE FROM FACE OF WALL / WAJNSCOT FINISH. VERIFY FINAL EQUIPMENT SIZES W/ VENDOR PRIOR TO INT. WALL FRAMING.

WINDOWS / DOORS:  
A. SEE SCHEDULE FOR WINDOW AND DOOR TYPES.  
B. ALL DOOR AND WINDOW OPENING DIMENSIONS ARE TO ROUGH OPENING

FINISH SUBSTRATES:

A. PROVIDE 1/2" THICK CEMENTITIOUS BD. FROM FLOOR SLAB TO 12" A.F.F. MIN. IN LIEU OF GYP. BD. AT ALL WALLS EXCEPT SHEARWALL SURFACES, U.O.N.

B. ALL JOINTS, GAPS OR SPACES LEADING TO ALL HOLLOW OR INACCESSIBLE SPACES SHALL BE SEALED WITH "NSF INTERNATIONAL" APPROVED SEALANTS.

MEANS OF EGRESS

A. AT ANY TIME THE BUILDING IS OCCUPIED, THE MEANS OF EGRESS SHALL BE ILLUMINATED AT AN INTENSITY OF NOT LESS THAN 1 FOOT-CANDLE AT WALKING SURFACE LEVEL

## REMODEL IMAGE (RI)

- (1 R) PATCH STUCCO OR AS NEEDED.
- (2 R) PROTECT KITCHEN EQUIPMENT DURING CONSTRUCTION .
- (3 R) EXISTING ELECTRICAL MAIN SWITCH BOARD. REFER TO ELECT. DWGS.
- (4 R) INFILL PORTION OF WALL AS INDICATED.
- (5 R) CONSTRUCT PLYWOOD DUAL BARRIER WITH LOCKING SWING GATE TO PROTECT KITCHEN DURING CONSTRUCTION.
- (6 R) EXISTING WINDOW TO REMAIN.
- (7 R) HOLD NEW WINDOW TO THIS SIDE OF EXISTING OPENING.
- (8 R) MODIFY EXISTING TOWER. KEEP TOWER STRUCTURE. SEE A4.0. AND STRUCTURAL DRAWINGS
- (9 R) MODIFY EXISTING TOWER. KEEP TOWER STRUCTURE. SEE A4.1. AND STRUCTURAL DRAWINGS
- (10 R) REPLACE SUBSTRATE AS REQUIRED.
- (11 R) REPOSITION FLOOR SINK AS SHOWN, IF IT IS BEHIND NEW WALL.
- (12 R) NEW INTERIOR WALL.
- (13 R) REPLACE CLOSET DOOR AND FRAME IF IN POOR CONDITION.
- (14 R) REAR TOWER, IF EXISTING, TO BE SQUARED OFF. SEE EXTERIOR ELEVATION D/4.1.
- (15 R) 6" PVC CHASE FROM 12" A.F.F. TO ABOVE CEILING. EXTEND 3" THROUGH WALL

(16 R) 6" PVC CHASE THROUGH WALL AT 12" A.F.F.

(17 R) CRITICAL FINISH DIMENSION FOR INSTALLATION OF NEW CANOPY FUR INSIDE FACE OF TOWER LEGS AS REQUIRED.

(18 R) PROVIDE OCCUPANT LOAD SIGN.

## ADA NOTES (ADT)

1 AD NEW INTERIOR WALL

## CUSTOMER TOUCH POINT (CT)



1. MATCH EXISTING STOREFRONT COLOR.
2. EXISTING WINDOWS TO REMAIN
3. REFER TO FLOOR PLAN FOR ROUGH OPENING DIMENSIONS.
4. ALL STOREFRONT MATERIAL AND GLAZING SHALL BE SUPPLIED AND INSTALLED BY G.C. U.O.N.
5. ALL STOREFRONT WINDOW SYSTEMS SHALL HAVE A "SILL RECEPTOR" AT THE SILL, ALONG WITH INDUSTRY STANDARD "END DAMS".

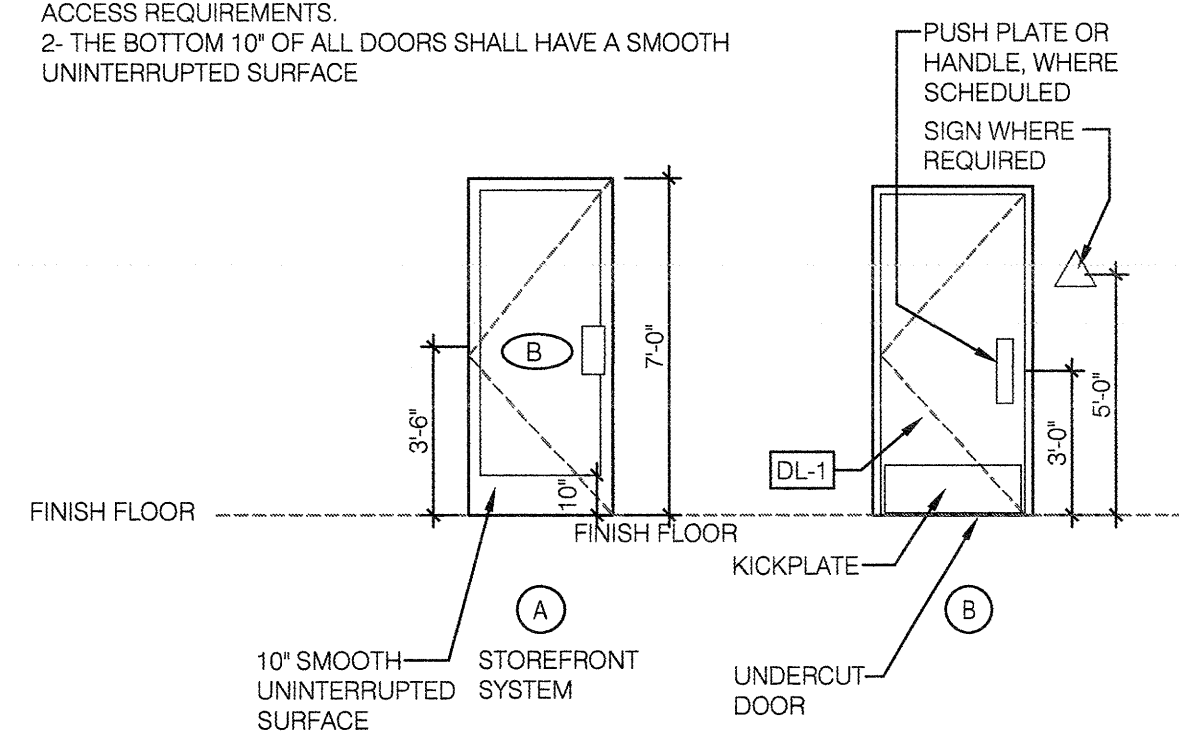
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CONSTRUCTION@LOCKNET.COM  
800 JOHN C. WATTS DR.  
NICHOLASVILLE, KY 40356  
855-432-4613, FAX: 877-887-4958

<b>C</b>
----------

EXIT DOORS SHALL NOT BE PROVIDED WITH A LATCH OR LOCK UNLESS IT IS PANIC HARDWARE. EXIT DOORS SHALL BE OPENABLE FROM THE INSIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT PER PER 1008.1.9  
MANUALLY OPERATED FLUSH BOLTS OR SURFACE BOLTS ARE NOT PERMITTED PER CFC 1008.1.9.4  
PROVIDE PANIC HARDWARE AT GROUP A OCCUPANCY WHERE HAS MORE THAN 50 OCCUPANTS; OTHER AREAS SUCH AS ELECTRICAL ROOMS WITH EQUIPMENT RATED 1,200 AMPERES OR MORE AND OVER 6 FEET WIDE WILL NEED TO INSTALL PANIC HARDWARE.  
ALL SUBSEQUENT DOORS LEADING TO THE EXIT DISCHARGE OR PUBLIC WAY SHALL ALSO BE EQUIPPED WITH PANIC HARDWARE.

NOTES:  
1- ALL DOOR HARDWARE SHALL COMPLY WITH DISABLED ACCESS REQUIREMENTS.  
2- THE BOTTOM 10" OF ALL DOORS SHALL HAVE A SMOOTH UNINTERRUPTED SURFACE



	<b>B</b>
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$$1/4^n = 1! \cdot 0^n$$

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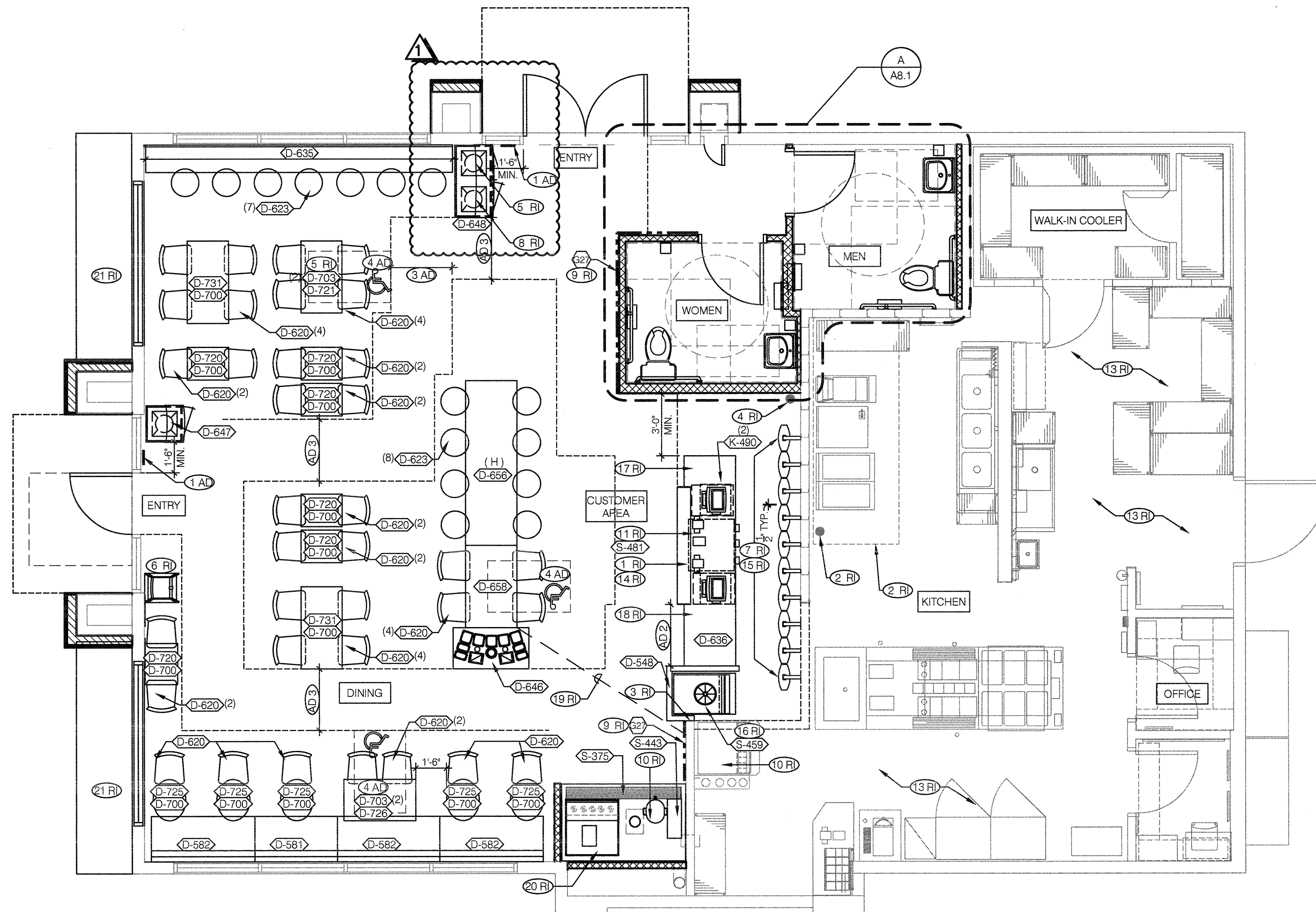
## DOOR & WDW DETAILS & SCHEDULES

## A1.1

## 1

1. LAMINATE DOORS. SEE INTERIOR ELEVATIONS
2. MOUNT DOOR CLOSERS ON RESTROOM OR KITCHEN SIDE ONLY.
3. MOUNT KICKPLATE ON PUSH SIDE ONLY.
4. ADJUST DOOR CLOSER. MAXIMUM DOOR OPERATING PRESSURE : 5 LBS INTERIOR ; 8.5 LBS EXTERIOR MEASURED AT 90 DEGREES TO THE DOOR AT THE STRIKE SIDE EDGE. DOOR CLOSERS SHALL BE ADJUSTED SO THAT FROM AN OPEN POSITION OF 90 DEGREES, THE TIME REQUIRED TO MOVE THE DOOR TO A POSITION OF 12 DEGREES FROM THE LATCH IS 5 SECONDS MINIMUM.
5. ADA COMPLIANT ACCESSIBILITY SIGNAGE WHERE REQUIRED (OR AS REQUIRED BY LOCAL JURISDICTION) - (1) MEN; (1) WOMEN; (2) EXIT.
6. RESTROOM SIGN IF REQUIRED. VERIFY LOCAL REQUIREMENTS.
7. FRAMES SHALL BE PAINTED.
8. STOREFRONT DOOR PANIC HARDWARE SHALL BE : DOR-O-MATIC 2092 RIM PANIC HARDWARE AND EXTERIOR PULLS WITH QUALITY #520 DOOR PULL.
9. FOR EXISTING DOORS THAT REMAIN UNCHANGED, FIELD VERIFY THAT COMPLIY WITH PANIC HARDWARE REQUIREMENTS.
10. DOOR FRAME SHALL HAVE REMOVABLE DOOR STOPS.
11. PROVIDE LATCH AND STRIKE PLATE HARDWARE BY DOOR MFR. TO BE COMPATIBLE WITH LOCKS
12. REPLACE CLOSET DOOR AND FRAME IF IN POOR CONDITION. FIELD VERIFY DIMENSIONS
13. HARDWARE:  
BUTTS: 1 1/2 PR BOMMER B8500, 4-1/2" x 4-1/2"  
CLOSER: DORMA 7414 ARP-SNB 689  
DOOR STOP: HINGE STOP - ROCKWOOD 532 NP  
PULL PLATE: ROCKWOOD 70C x 107 - 4" x 16"  
FINISH: DL-1
14. EXIT DOOR SHALL BE EQUIPPED WITH A SINGLE OPERATION LATCH AND SHALL BE READILY OPENABLE FROM THE EGRESS SIDE WITHOUT USE OF A KEY OR A SPECIAL KNOWLEDGE OR EFFORT.





NEW EQUIPMENT SCHEDULE

NO.	QTY	G.C. INST.	ITEM DESCRIPTION	MFR. & MODEL NUMBER	PLUMB	ELECT	GAS	REMARKS	BID	NO.
B CONTRACTOR BUILDING ELEMENTS										
S-375	1	X	SELF SERVE DRINK COUNTER 72"	CARTER HOFFMAN #CH3-TDS72N55				TOP OF COUNTER @ 34" MAX.	RI	S-375
S-443	1	X	DISPENSE-RITE	#TB-TLO-3D				LID AND STRAW DISPENSER	RI	S-443
S-459	1		FRUTISTA CART	WST1306YA					RI	S-459
S-481	1	X	CUP DISPENSER	A.J. ANTUNES #DACSS0					RI	S-481
K-490	2	X	FRONT COUNTER SHELVEING 18" x 24" x 24" (2 TIER)	ISS #WST440Y				UNDERCOUNTER SHELVEING	RI	K-490
-	4	X	ACCESSIBLE SIGNAGE					(1) MEN'S RESTROOM, (1) WOMEN'S RESTROOM, (2) EXIT	AD	-
N-145	2	X	LAVATORY FAUCET	SLOAN #SF-2300	X	X		OWNER PROVIDED	RI	N-145

GENERAL NOTES:  
G.C. SHALL PROVIDE A CLEAR SILICONE SEAL JOINT AT ALL PERMANENTLY MOUNTED EQUIPMENT, COUNTERS AND CEILING GRID THROUGHOUT THE ENTIRE STORE. MASKING TAPE SHALL BE USED ON JOINTS EXCEEDING 1/4" TO PROVIDE A COVERED CORNER.

SEATING AND EQUIPMENT PLAN 1/4"=1'-0" A

SYM.	QTY.	ITEM
(D-581)	1	PLANK SETTEE - 48"
(D-582)	3	PLANK SETTEE - 60"
(D-620)	34	RETRO CHAIR - 18"
(D-623)	15	BARREL BAR STOOL - 29"
(D-648)	1	EQUIPMENT SHROUD
(D-635)	1	SINGLE SIDED EATING BAR - SEE PLAN FOR SIZE
(D-636)	1	SERVICE COUNTER - TOP @ 34" MAX.
(D-646)	1	CONDIMENT CART - RECTANGULAR
(D-647)	1	WASTE ENCLOSURE - SINGLE
(D-648)	1	WASTE ENCLOSURE - DOUBLE
(D-655)	1	WB HUB TABLE - 96" 60" x 30"
(D-658)	1	WB HUB TABLE (ADA) - 36" x 30"
(D-700)	13	22" X 22" X 28.5"H FREE STANDING TABLE BASE
(D-703)	4	22" X 5.5' X 28.5"H FREE STANDING TABLE BASE

SEATING PACKAGE (TOTAL SEATS = 57)

E

SYM.	QTY.	ITEM
(D-720)	6	24" X 19" TABLE TOP - PLYWOOD
(D-721)	1	24" X 42" ADA TABLE TOP - PLYWOOD
(D-725)	5	24" X 19" OVAL TABLE TOP - WHITE LAMINATE
(D-726)	1	24" X 42" ADA TABLE TOP - WHITE LAMINATE
(D-731)	2	24" X 48" TABLE TOP - PLYWOOD

(X)	QTY.	ITEM	REMARKS
(62)	1	WALL GRAPHIC - LINEAR BELLS SHOWN AS - - - -	SEE A8.0 FOR LOCATION

ARTWORK SCHEDULE

D

- "HOLD" DIMENSIONS ARE FROM FACE OF FINISH.
- G.C. TO CONFIRM "HOLD" DIMENSIONS WITH EQUIPMENT MFR / VENDOR.
- TILE CHIPPING AROUND CORE DRILL HOLES FOR SEATING WILL NOT BE ACCEPTED.
- ALL DIMENSIONS FOR SEATING / CORE DRILL PLAN SHALL BE FROM FACE OF GYP BD.
- VERIFY ALL DIMENSIONS WITH SEATING VENDOR PRIOR TO INSTALLATION.
- REFER TO SC SHEETS FOR SCOPE OF WORK RESPONSIBILITIES.
- SEE INTERIOR ELEVATIONS A8.0-A8.1 FOR LOCATION OF OWNER SUPPLIED ARTWORK.
- NOT USED
- (H) - SYMBOL DENOTES A HIGH TABLE OR DINING COUNTER WITH STOOLS.
- ALL SOLID SURFACES TO BE PROPERLY SEALED PER MFRS SPECIFICATIONS
- PAINTE UNDERSIDE OF SERVICE COUNTER WITH WHITE GLOSS PAINT, AND PROVIDE METAL ANGLE LEDGER FOR END OF COUNTER IF VENDOR DOES NOT PROVIDE ONE.

♿ - SYMBOL DENOTES A HANDICAP ACCESSIBLE TABLE.

SEATING PLAN NOTES

C

REMODEL IMAGE (RI)

- (1 RI) SERVICE COUNTER.
- (2 RI) (E) K CLASS FIRE EXTINGUISHER TO REMAIN.
- (3 RI) CORNER GUARD. SEE DETAIL 8/A6.0
- (4 RI) (E) 2A FIRE EXTINGUISHER TO REMAIN.
- (5 RI) RECYCLE BIN
- (6 RI) HIGH CHAIR BY OWNER.
- (7 RI) REVOLUTION MENUBOARD. CENTER ON REGISTERS. ADD NEW IF NOT EXISTING.
- (8 RI) TRASH BIN
- (9 RI) WALL GRAPHIC. SEE ELEVATIONS SHEET A8.0 FOR SIZE AND LOCATION.
- (10 RI) RELOCATE TEA URN AND/OR BREWER AS SHOWN.
- (11 RI) INSTALL UNDER COUNTER CUP DISPENSER WITH ANGLED BRACKETS.
- (12 RI) NOT USED
- (13 RI) KITCHEN - NO MODIFICATIONS EXCEPT AS NOTED.
- (14 RI) REWORK EXISTING POWER FOR POS ITEMS ON NEW ORDER COUNTER.
- (15 RI) PROVIDE 120 V OUTLET @ 108" A.F.F. FOR MENUBOARD. VERIFY, MAY BE EXISTING.

- (16 RI) LOCATE EXISTING FRUTISTA MACHINE ON CART.
- (17 RI) HOLES FOR POS CASH REGISTER POWER AND DATA LINE SHOULD BE FIELD CUT BY GO PRIOR TO POS SETUP (TYP).
- (18 RI) RELOCATE THE BRINKS SAFE FROM THE OFFICE TO BELOW THE EXPEDITE SECTION OF THE SERVICE COUNTER. SEE DETAIL 5/A6.0.
- (19 RI) RUN 3" CONDUIT BELOW SLAB FROM NEAREST WALL OUTLET TO THE END OF WORK BENCH TABLE. COORDINATE LOCATION WITH DECOR VENDOR. RUN CIRCUIT WIRE UP THROUGH LEG TO OUTLET - BOXES IN TOP OF WORK BENCH TABLE. INSURE THE CIRCUIT IS NOT OVERLOADED. DO NOT CONNECT TO P.O.S. CIRCUIT.
- (20 RI) REINSTALL EXISTING PEPSI AND ICE MACHINES ON NEW TABLE.
- (21 RI) TYPE I HOOD WITH EXISTING FIRE SUPPRESSION SYSTEM TO REMAIN. NO WORK.

ADA NOTES (AD)

- (1 AD) PROVIDE TACTILE EXIT SIGN AT EGRESS DOOR PER "TACTILE SIGN" DETAIL ON ADA1.0 WHEN EXISTING IS NOT PROVIDED.
- (2 AD) 36" MIN. CLEAR COUNTERTOP REQUIRED PER ADA.
- (3 AD) MAINTAIN A MINIMUM 3'-0" CLEAR PATH OF EGRESS.
- (4 AD) 30" x 48" CLEAR FLOOR SPACE FOR HANDICAP SEATING POSITION.

CUSTOMER TOUCH POINT (CT)

KEY NOTES

B

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architects

architecture  
interior design  
retail  
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space planning  
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M70H  
EXPLORER  
REVERSE

SEATING AND  
EQUIPMENT  
PLAN

A2.0





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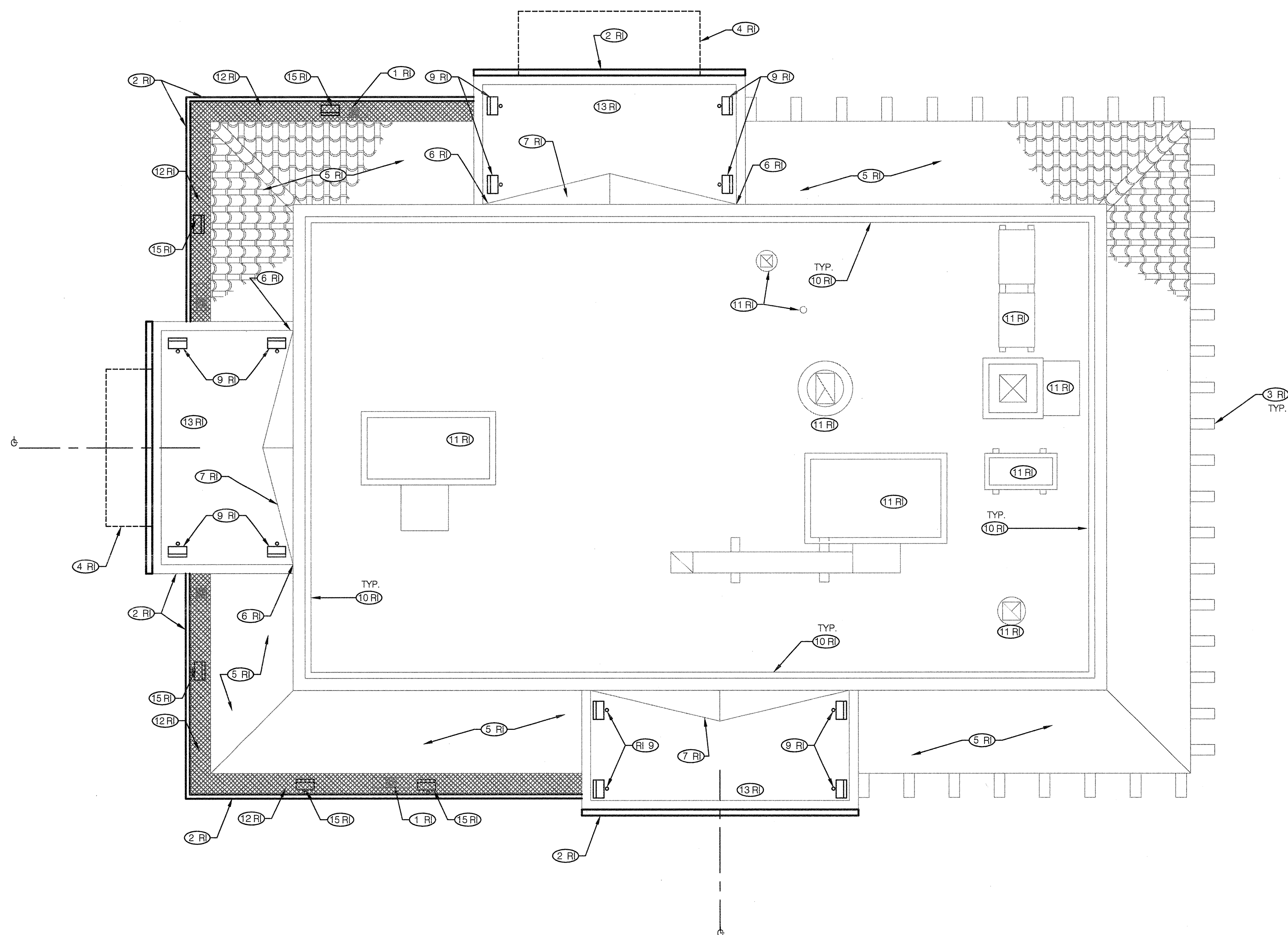
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DIVISION

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## ROOF PLAN

## A3.0



<b>ROOF PLAN</b>	$1/4" = 1'-0"$	<b>A</b>
------------------	----------------	----------

## REMODEL IMAGE (RI)

- (1 R) PROVIDE ROOF DRAINS. INSTALL OVERFLOW DRAIN IF NOT PRESENT. OVERFLOW DRAIN SIZE TO MATCH ROOF DRAIN. INLET TO BE 2" ABOVE EXISTING ROOF DRAIN HEIGHT. OUTLET TO EXTEND 2" BELOW SOFFIT. INSTALL ROOF PENETRATION PER ROOFING MANUFACTURER RECOMMENDATIONS.
- (2 R) OUTLINE OF NEW ROOF PERIMETER.
- (3 R) EXISTING WOOD OUTRIGGERS TO REMAIN.
- (4 R) NEW CANOPY BY OWNER.
- (5 R) PATCH AND REPAIR EXISTING ROOF OF ANY AREA DISTURBED BY THIS WORK. EXISTING FLOOD LIGHTS TO REMAIN WHERE OCCURS.
- (6 R) EXISTING 6" X 12" SCUPPER TO LOW ROOF (TYP.) TO REMAIN.
- (7 R) EXISTING CRICKET. REPAIR IF NEEDED
- (8 R) NOT USED.
- (9 R) EXISTING MANSARD LIGHTS. VERIFY THAT MANSARD LIGHTS ARE OPERATIONAL, IF NOT REPAIR AS NECESSARY. IF FIXTURES ARE NOT PRESENT INSTALL PER THIS PLAN. NEW FIXTURES SHALL BE PAR LIGHTING #4FH70 W/ 70W METAL HALIDE LAMPS. FIXTURES TO BE CIRCUITED THROUGH ENERGY MANAGEMENT SYSTEM.
- (10 R) PROVIDE RAILING, MIN. 42" ABOVE ROOF DECK ABOVE ANY SERVICEABLE ROOFTOP TERRACE OR ROOF HATCH WITHIN 10'-0" OF ROOF EDGE, IF EXISTING PARAPET DOES NOT PROVIDE SUFFICIENT HEIGHT.

- (11) EXISTING EQUIPMENT TO REMAIN. NO WORK
- (12) INSTALL NEW DUROLAST GUTTER PAN PER MANUFACTURERS RECOMMENDATIONS.
- (13) MODIFY EXISTING TOWER. SEE EXTERIOR ELEVATIONS SHEET A4.0 AND A4.1
- (14) NOT USED.
- (15) RELOCATE EXISTING MANSARD LIGHT TO REAR OF NEW PARAPET. PROVIDE NEW ELECTRICAL CONDUIT AND WIRING AS REQUIRED TO COMPLY WITH NEC. VERIFY THAT MANSARD LIGHTS ARE OPERATIONAL, IF NOT REPAIR AS NECESSARY. IF FIXTURES ARE NOT PRESENT INSTALL PER PLAN. NEW FIXTURES SHALL BE RATED 48W-60W, 120V MEAN AND HAVE DIMMABLE LAMPS. FIXTURES TO BE CIRCUITED THROUGH ENERGY MANAGEMENT SYSTEM.

CUSTOMER TOUCH POINT (CT)

**NOT USED**

**F**

**NOT USED** NTS

NTS

**E**

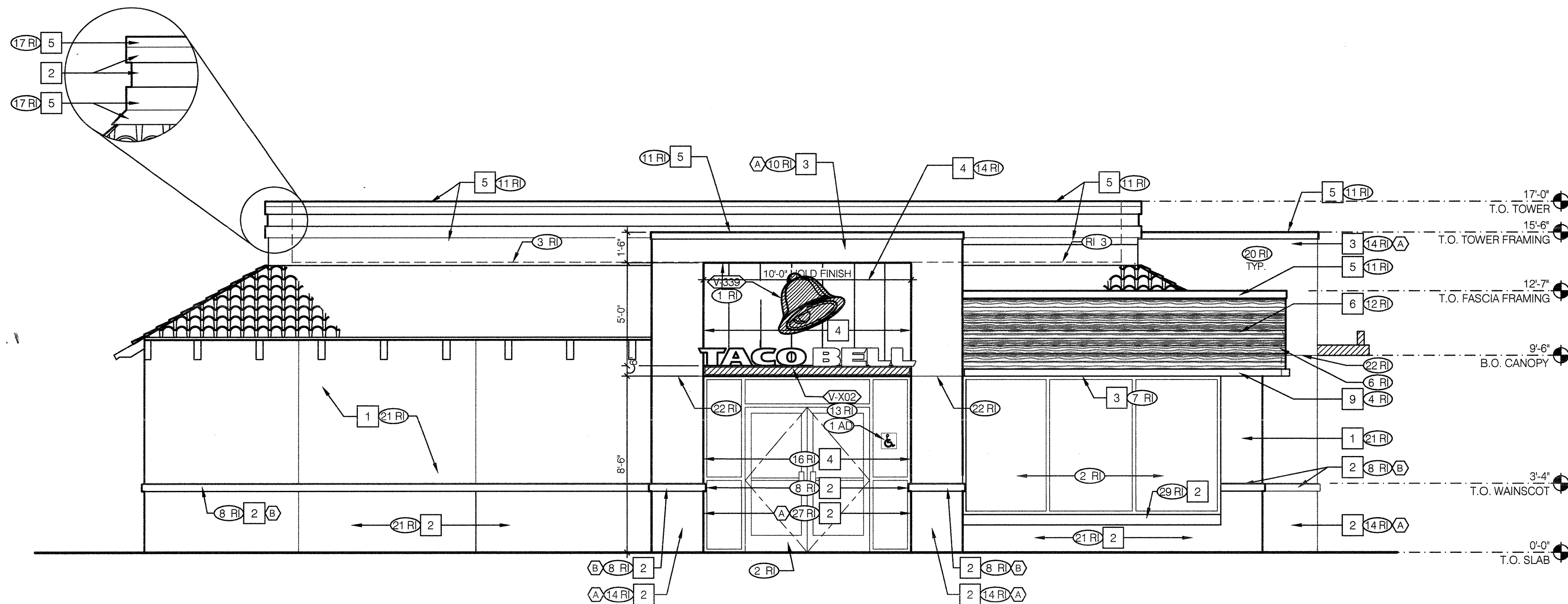
**NOT USED**

D	
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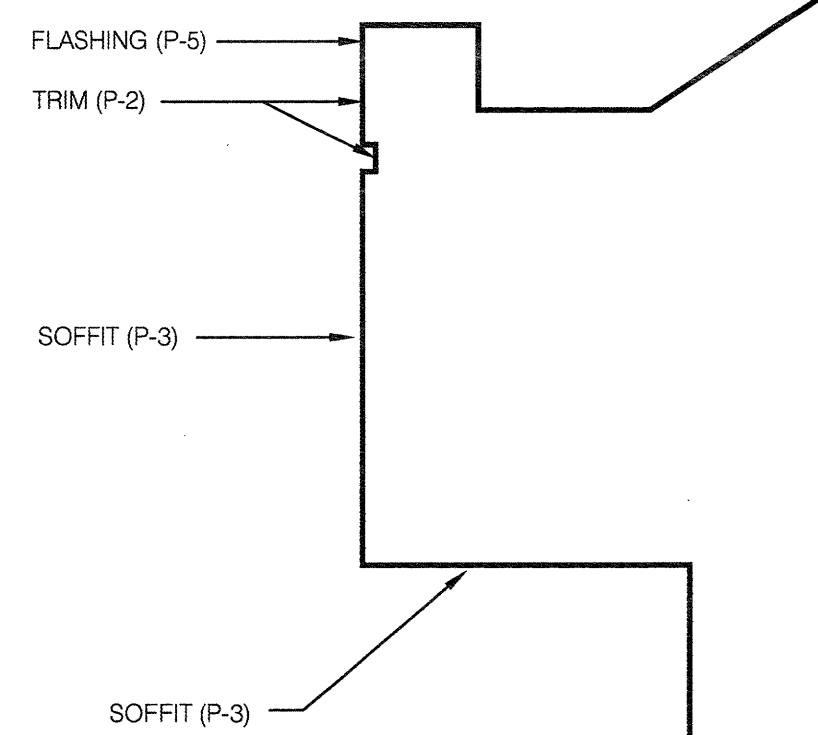
## KEY NOTES

	<b>B</b>
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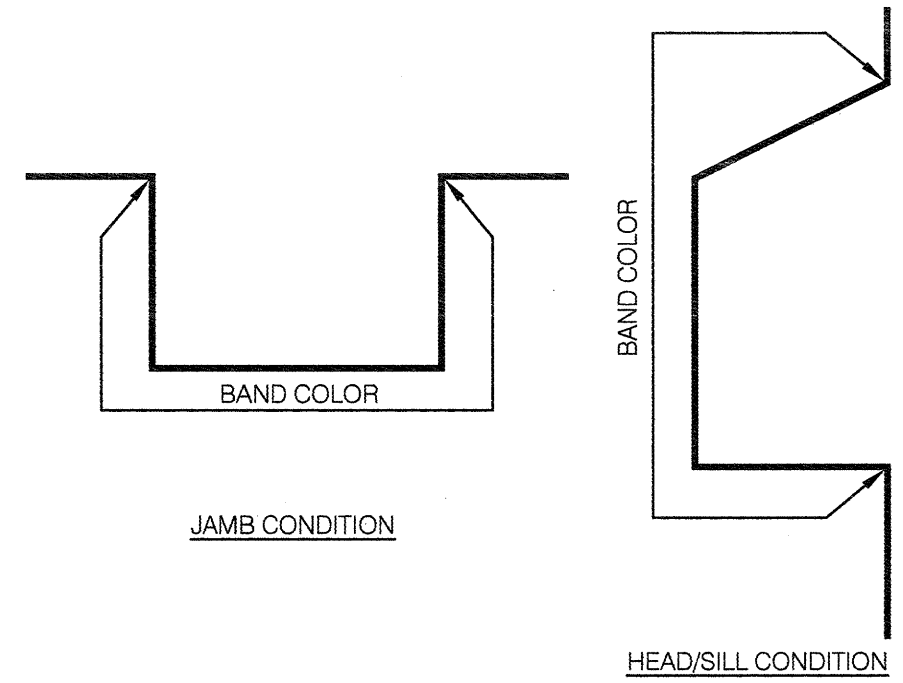




RIGHT SIDE ELEVATION 1/4" = 1'-0" A



ACCENT BAND COLOR TRANSITION N.T.S. G



ACCENT BAND COLOR TRANSITION N.T.S. E

SYMBOL	AREA	MANUFACTURER	COLOR	ALTERNATE MFR.	COLOR
1	MAIN WALL COLOR	SHERWIN WILLIAMS	GRIZZLE GRAY SW7068	STO LOTUSAN	
2	ACCENT WALL COLOR	SHERWIN WILLIAMS	IRON ORE SW7069	STO LOTUSAN	
3	ACCENT WALL COLOR	SHERWIN WILLIAMS	NATURAL CHOICE SW7011	STO LOTUSAN	
4	METAL PANELS	WESTERN STATES METAL ROOFING	18" A606-4 RUSTWALL PANELS		
5	CONTINUOUS PARAPET CAP	SHERWIN WILLIAMS	IRON ORE SW7069		
6	FIBER CEMENT PANELS	NICHIHA	ROUGHSAWN - "SMOKE"		
7	PIPE BOLLARDS	SHERWIN WILLIAMS	DOT YELLOW		
9	ACCENT / CANOPIES / KITCHEN DOOR	SHERWIN WILLIAMS	IRON ORE SW7069		
11	HANDRAILS & TRANSFORMER HOUSINGS (WHERE OCCUR)	SHERWIN WILLIAMS	IRON ORE SW7069		

EXTERIOR FINISH SCHEDULE H

MISCELLANEOUS  
A. SEE SCOPE OF WORK FOR RESPONSIBILITIES.  
B. PROVIDE BLOCKING FOR SIGNAGE, TRELLIS AND CANOPY.  
C. DURO-LAST TERMINATION BAR SHALL BE DARK BRONZE.  
D. OWNER REPRESENTATIVE WILL IDENTIFY WHICH PAINT SPECIFICATION WILL BE PRIMARY

SEALERS (REFER TO SPECS):  
A. SEALANT AT ALL WALL AND ROOF PENETRATIONS.  
B. SEALANT AT ALL WINDOW AND DOOR FRAMES AT HEAD, SILL AND JAMB.

☐ DENOTES ITEMS SUPPLIED AND INSTALLED BY SIGN VENDOR  
☐ DENOTES EXTERIOR FINISH.

☐ DENOTES SIGN/AWNING/CANOPY ITEMS - VENDOR SUPPLIED AND INSTALLED. SEE THE SCOPE OF WORK SHEETS.

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ANDREW BRIGGS  
NICHIHA NATIONAL ACCOUNTS PROJECT COORDINATOR - RESTAURANT DIVISION  
EMAIL: ABRIGGS@NICHIHA.COM  
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GENERAL NOTES F

QTY	ITEM DESCRIPTION	ELEC
1	TACO BELL 'BELL' SIGN 4'-10 1/2"W x 4'-6 1/4"H	X
1	TACO BELL 'BELL' SIGN 4'-10 1/2"W x 4'-6 1/4"H	X
2	TACO BELL 'BELL' SIGN 3'-1 3/4"W x 2'-11 3/16"H WITH WHITE BACK AND 2" STAND-OFFS	X

SIGN SCHEDULE		N.T.S.	D
V-X01	1	TACO BELL ENTRY CANOPY - 8'-6"W x 6'H W/ 8" LETTERS	X
V-X02	1	TACO BELL ENTRY CANOPY - 10'-0"W x 6'H W/ 10" LETTERS	X
V-X03	1	TACO BELL DRIVE THRU CANOPY - 9'-6"W x 4'-0"D x 6'H	X

APPURTENANCES SCHEDULE N.T.S. D1

- REMODEL IMAGE (RI)
- (1 RI) NEW BUILDING SIGN - UNDER SEPARATE PERMIT. SEE SCOPE OF WORK.
  - (2 RI) EXISTING STOREFRONT TO REMAIN
  - (3 RI) INDICATES ROOF BEYOND.
  - (4 RI) ARCHITECTURAL ACCENT. ALIGN WITH TOP OF EXISTING DINING ROOM WINDOWS. SEE DETAIL 8/A6.1.
  - (5 RI) GAS METER. DO NOT PAINT METER.
  - (6 RI) INSTALL FACTORY OUTSIDE CORNER TO MATCH CEMENT BOARD PANEL.
  - (7 RI) PAINT COLOR INDICATED FOR BOTTOM OF SOFFIT.
  - (8 RI) HORIZONTAL TRIM BAND. SEE G/A5.1 & E/A4.0. BAND PAINT COLOR SHALL BE APPLIED TO TOP, BOTTOM AND FACE OF BAND.
  - (9 RI) PROVIDE ADDRESS IDENTIFICATION NUMBERS 12" HIGH
  - (10 RI) 1" STUCCO
  - (11 RI) NEW METAL COPING.
  - (12 RI) FIBER CEMENT PANEL OVER NEW SOFFIT FRAMING.
  - (13 RI) NEW CANOPY. VERIFY SUPPORT AND BACKING REQUIREMENTS. SEE SCOPE OF WORK AND A/A5.0.
  - (14 RI) MODIFY EXISTING TOWER. SEE SHEET A5.0.
  - (15 RI) EXISTING CRICKET. REPAIR ROOFING AS NEEDED REMOVE
  - (16 RI) INSTALL METAL PANEL ABOVE HORIZONTAL TRIM BAND ON INSIDE FACE OF TOWER LEG.

BASE THICKNESS - 1" THICK STUCCO

HORIZONTAL TRIM BAND - 1 1/2" THICK STUCCO

ALL NEW STUCCO/TO HAVE A LIGHT SAND FINISH UNLESS IT MUST BLEND WITH AN EXISTING CONTRASTING FINISH.

STUCCO THICKNESS N.T.S. B

NOT USED N.T.S. B1

- (17 RI) INFILL PORTION OF WALL
  - (18 RI) EXISTING SWITCHGEAR CABINET. PAINT.
  - (19 RI) NOT USED.
  - (20 RI) PAINT ALL ROOF FLOOD LIGHTS, IRON ORE. SEE SHEET A3.0.
  - (21 RI) PATCH AND REPAIR EXISTING STUCCO.
  - (22 RI) "U" GROOVE AT TOWER - SEE DETAIL 9/A6.0.
  - (23 RI) EXISTING FRAMED SOFFIT TO REMAIN.
  - (24 RI) NOT USED.
  - (25 RI) NOT USED
  - (26 RI) NOT USED
  - (27 RI) (E) DOORS TO REMAIN.
  - (28 RI) NEW STUCCO SILL TO MATCH EXISTING.
  - (29 RI) EXISTING STUCCO SILL TO REMAIN.
- ADA NOTES (AD)  
(1 AD) PROVIDE INTERNATIONAL SYMBOL OF ACCESSIBILITY AT 60" A.F.F. TO TOP OF SIGN
- CUSTOMER TOUCH POINT (CT)

KEY NOTES C

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interior design  
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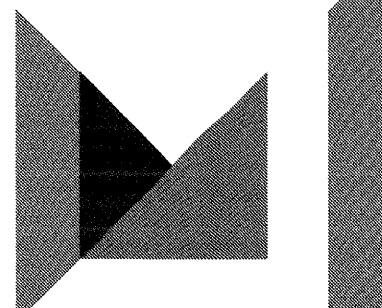
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EXTERIOR ELEVATIONS

A4.0



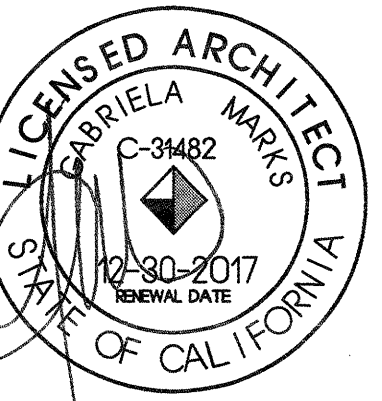


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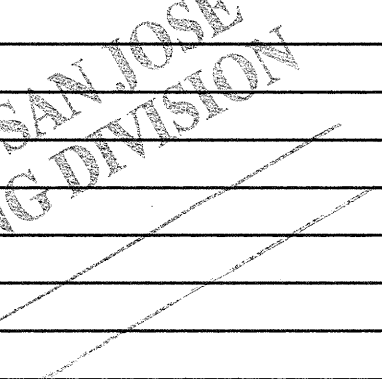
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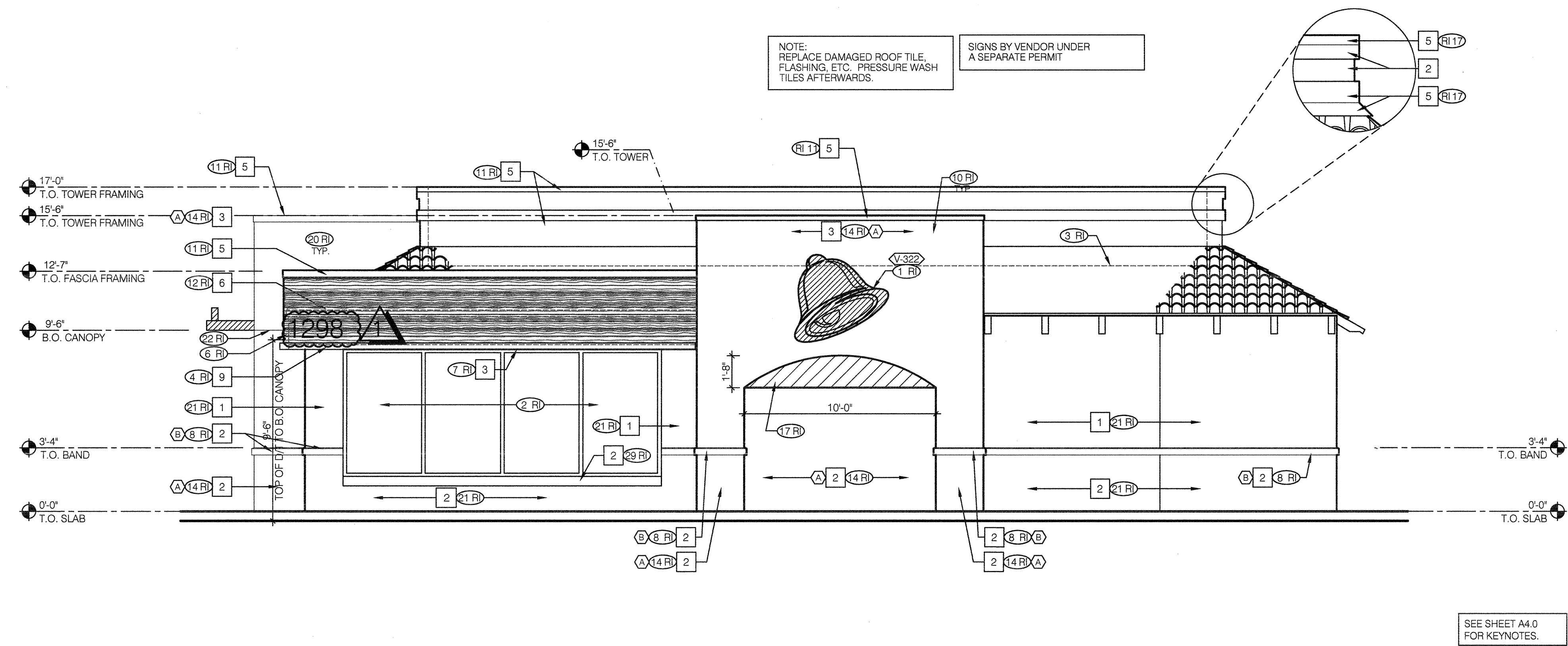
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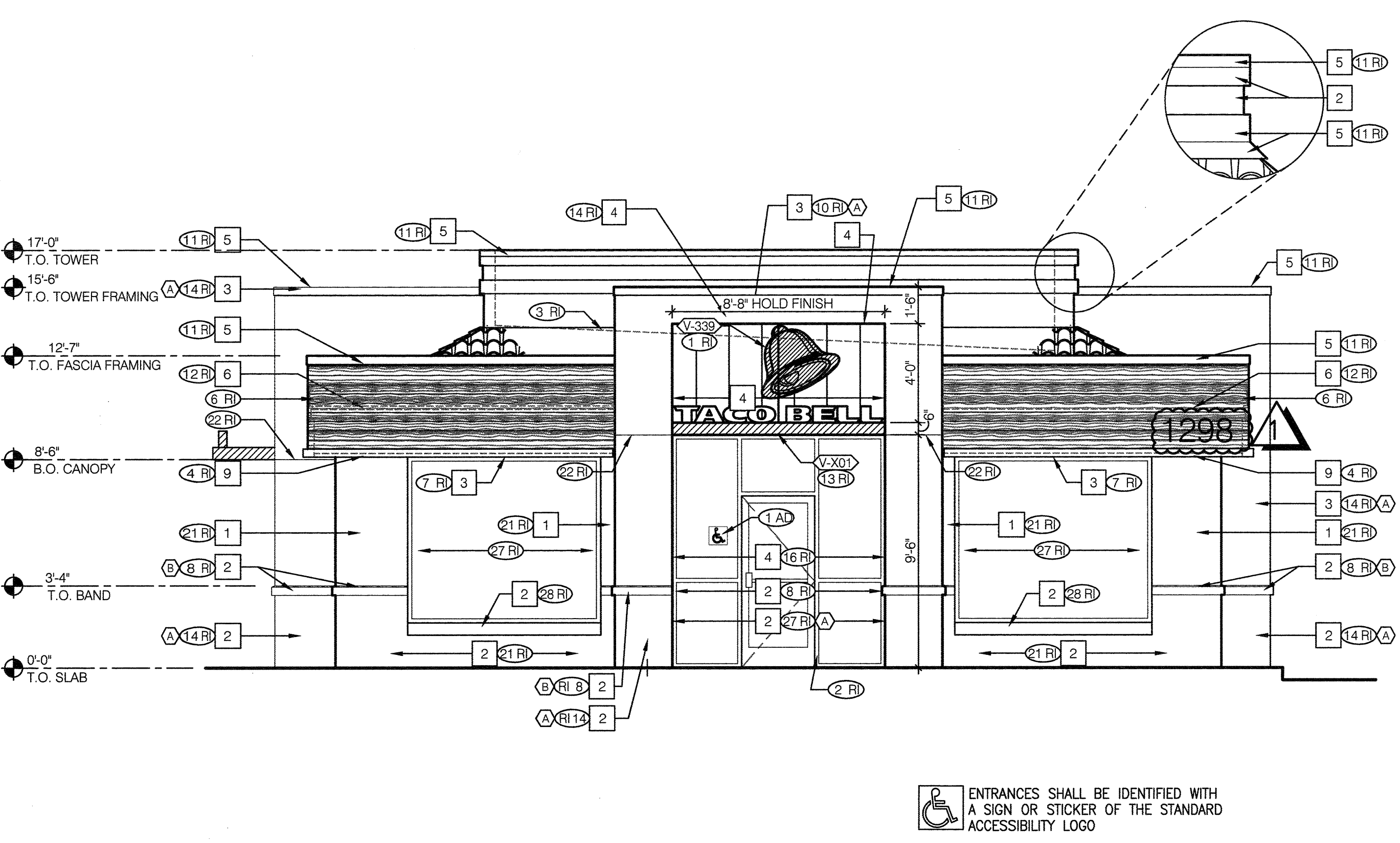
M70H  
EXPLORER  
REVERSE

EXTERIOR  
ELEVATIONS

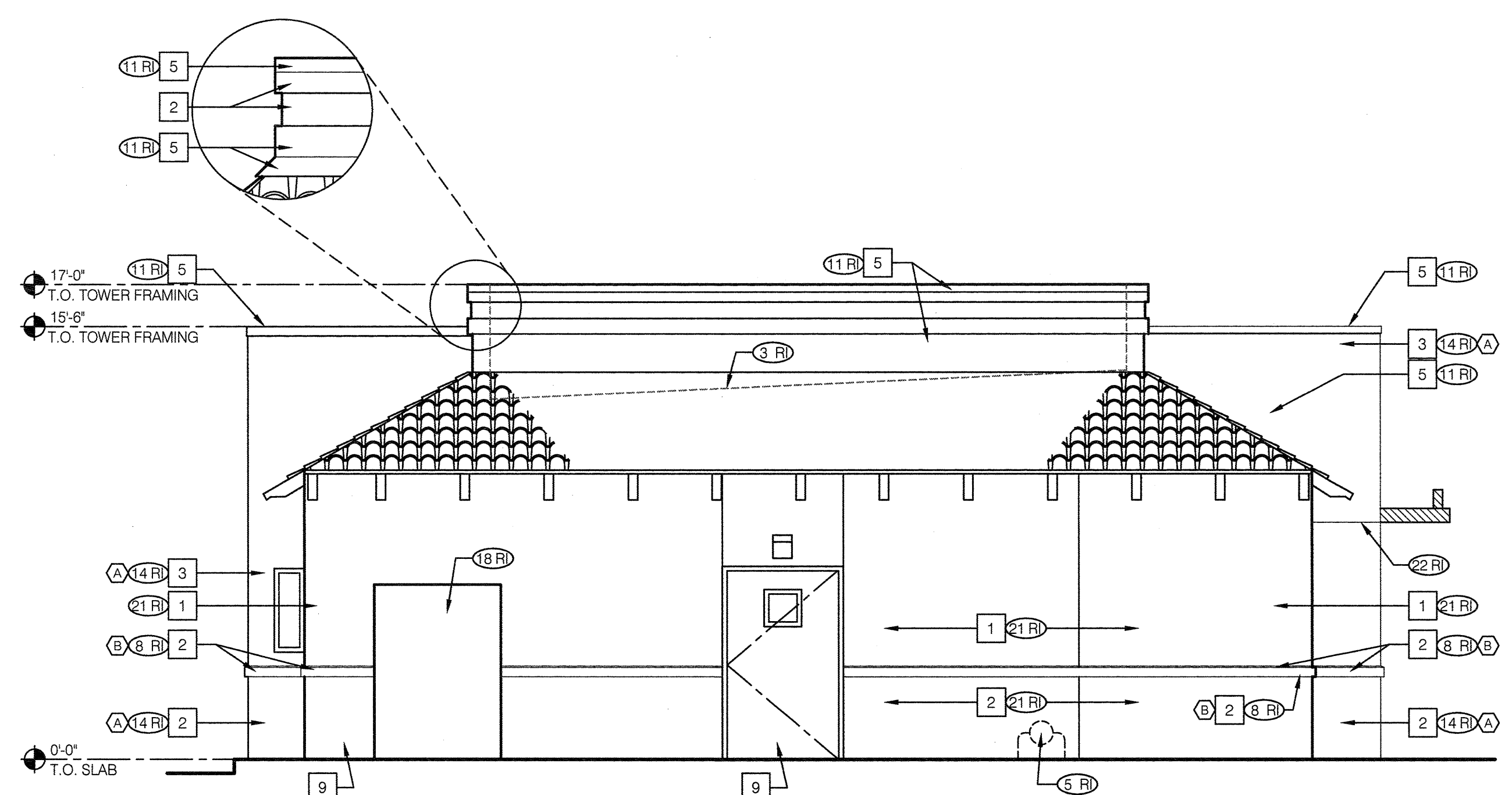
A4.1



LEFT SIDE ELEVATION 1/4" = 1'-0" A



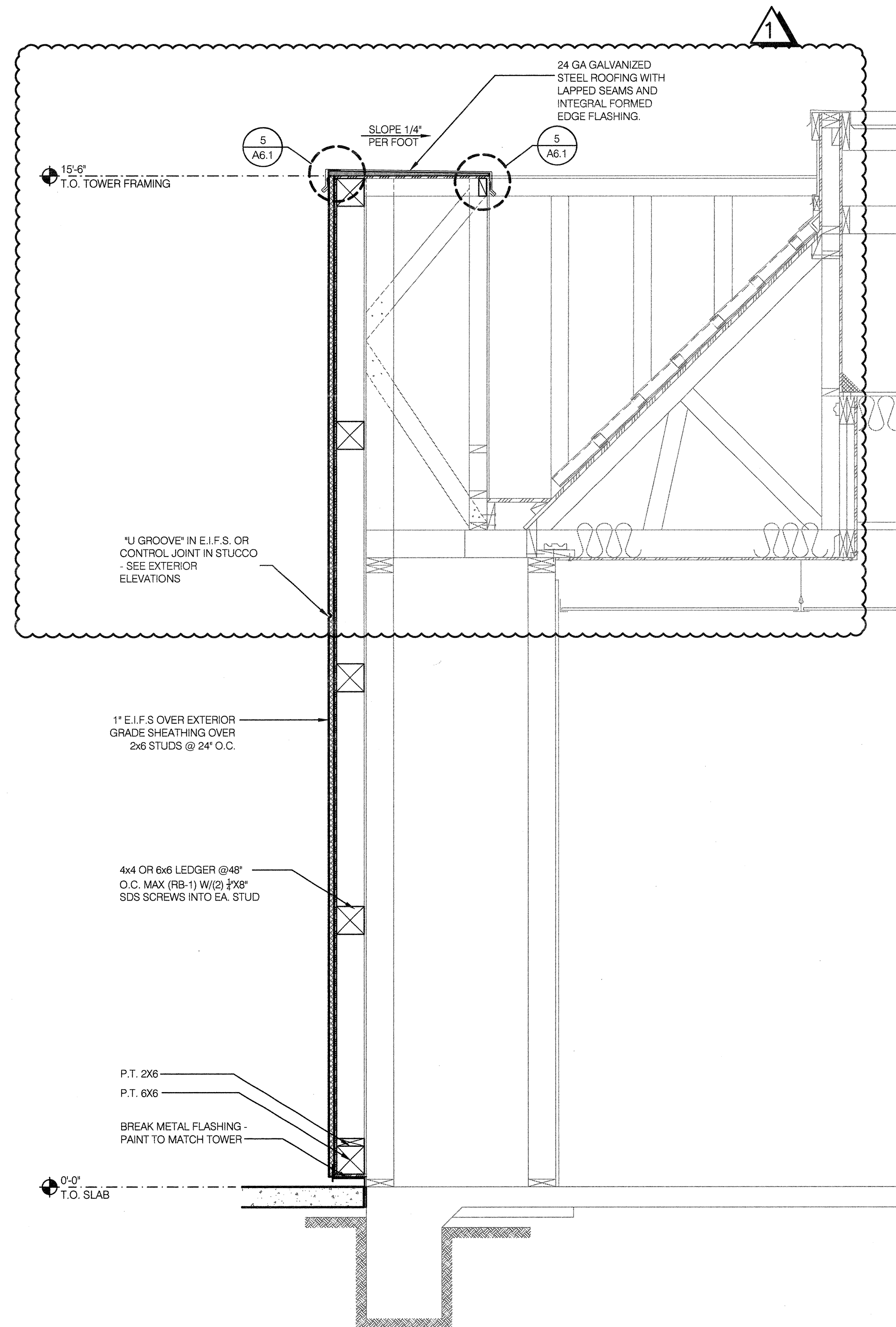
FRONT ELEVATION 1/4" = 1'-0" C



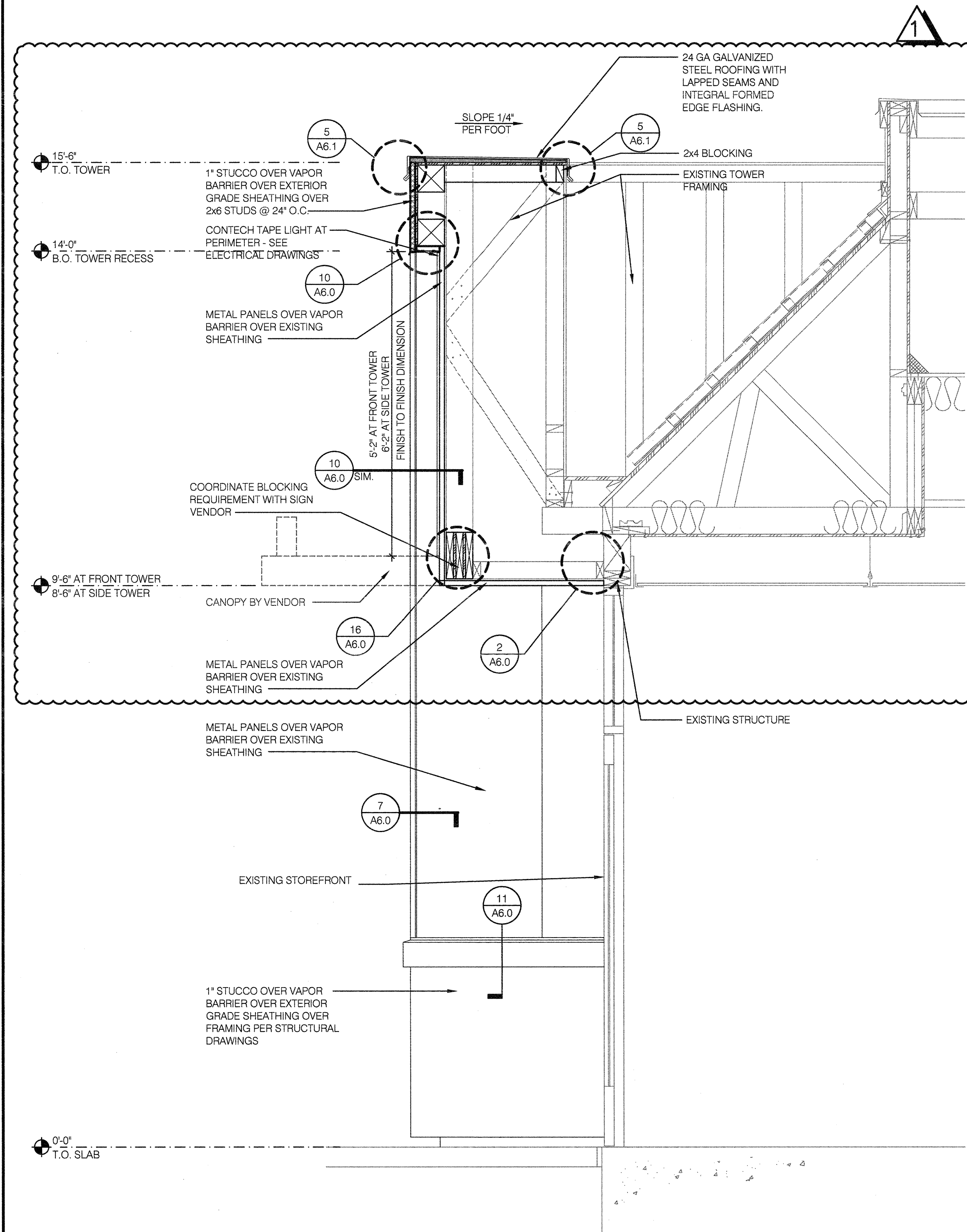
REAR ELEVATION 1/4" = 1'-0" B

NOT USED 1/4" = 1'-0" D





WALL SECTION @ FRONT TOWER LEG 3/4" = 1'-0" C



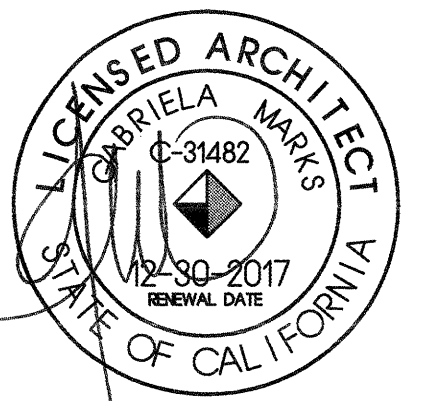
WALL SECTION @ FRONT ENTRY 3/4" = 1'-0" A

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M70H  
EXPLORER  
REVERSE

WALL  
SECTIONS

A5.0

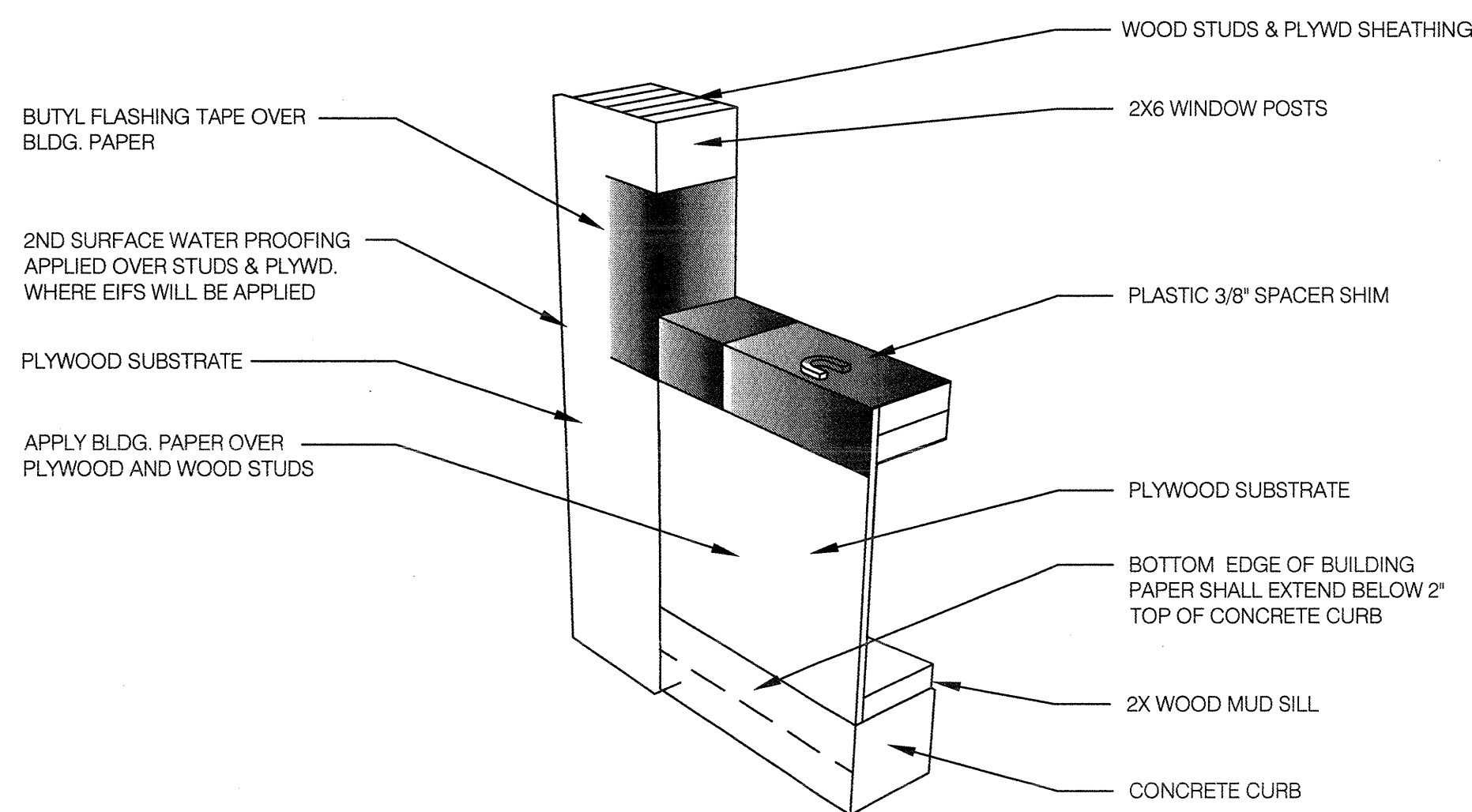




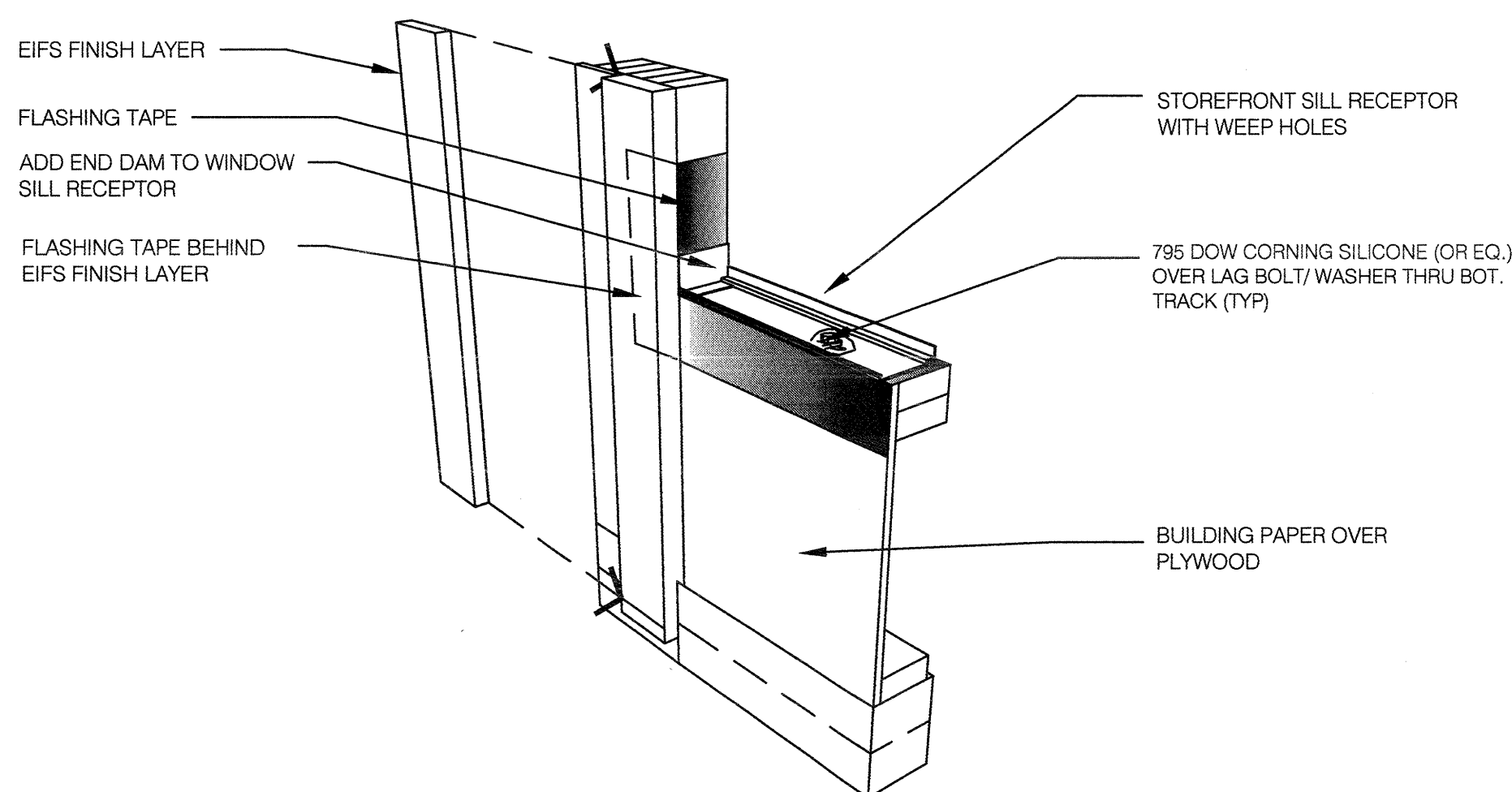




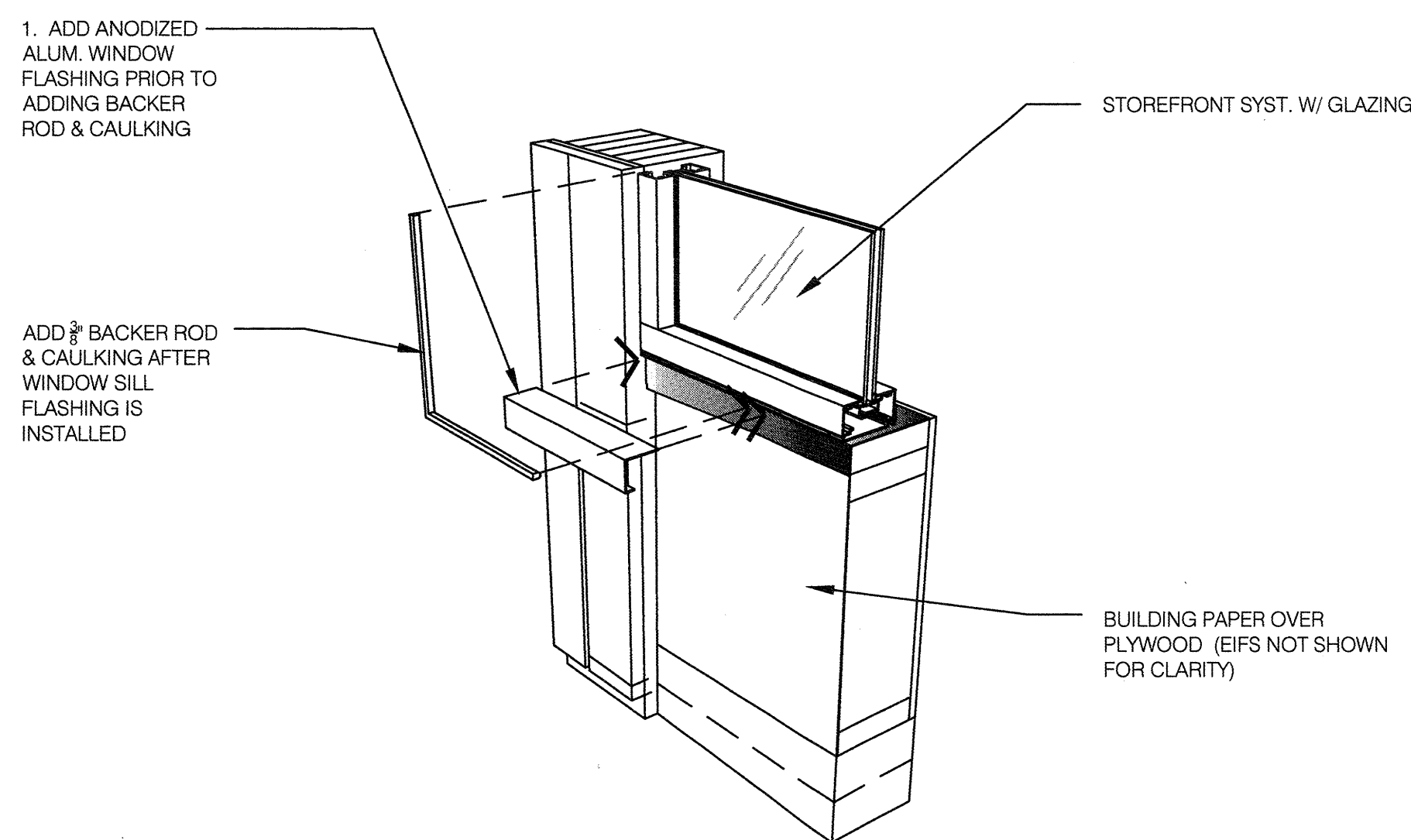




**STEP 1**  
**ADD BLDG. PAPER & FLASHING TAPE**



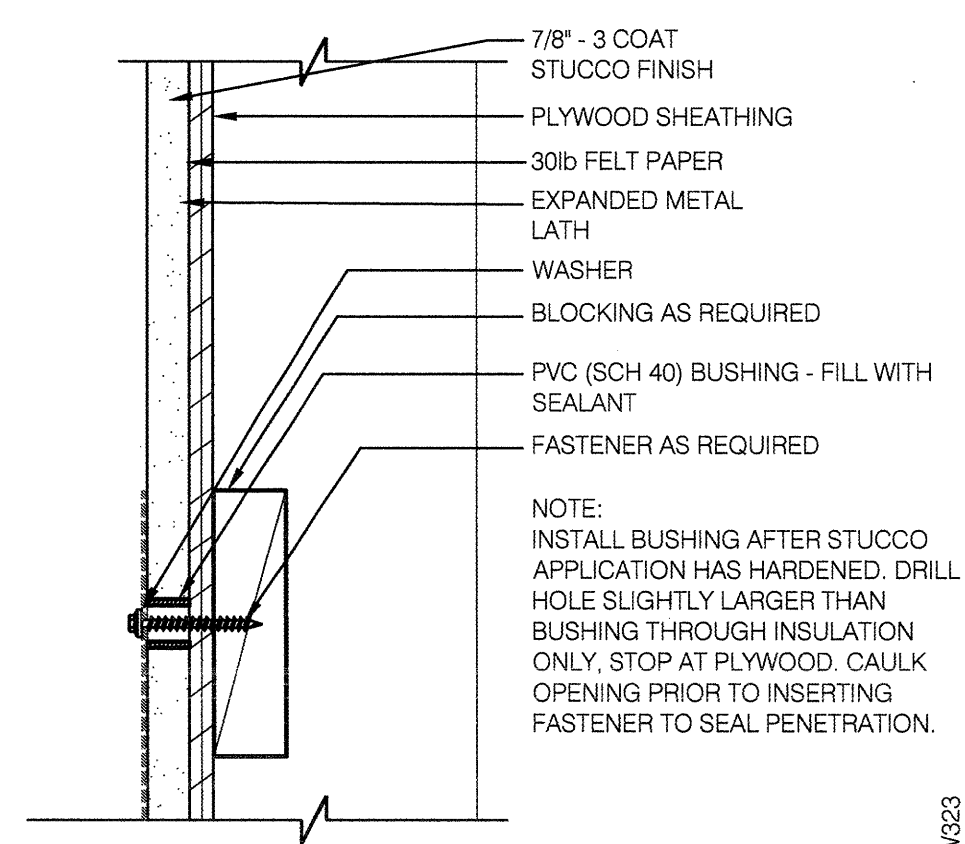
**STEP 2**  
**ADDING EIFS, SILL RECEPTOR & END DAM**



**STEP 3**  
**FLASHING, BACKER ROD & CAULKING**

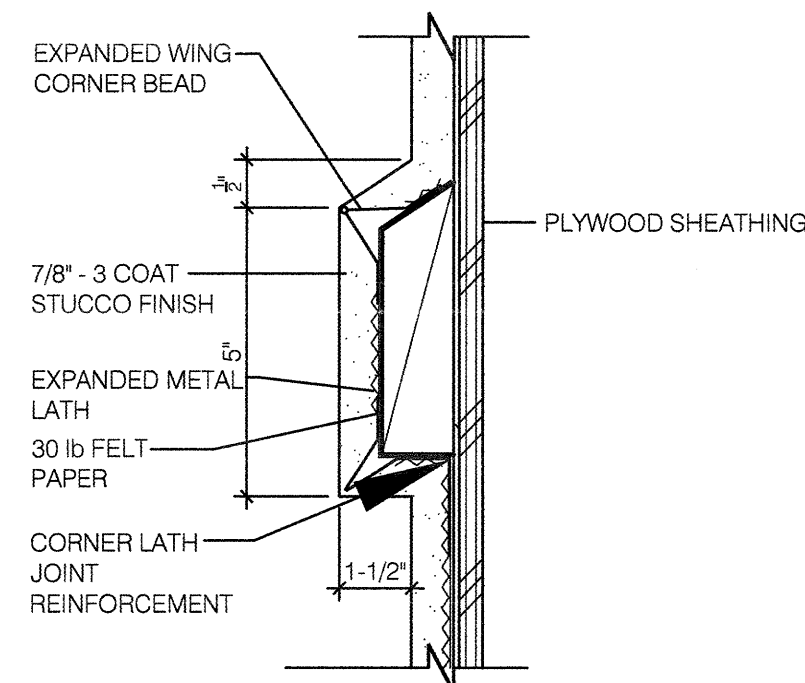
**TYPICAL WINDOW WALL WATER PROOFING**

**16**



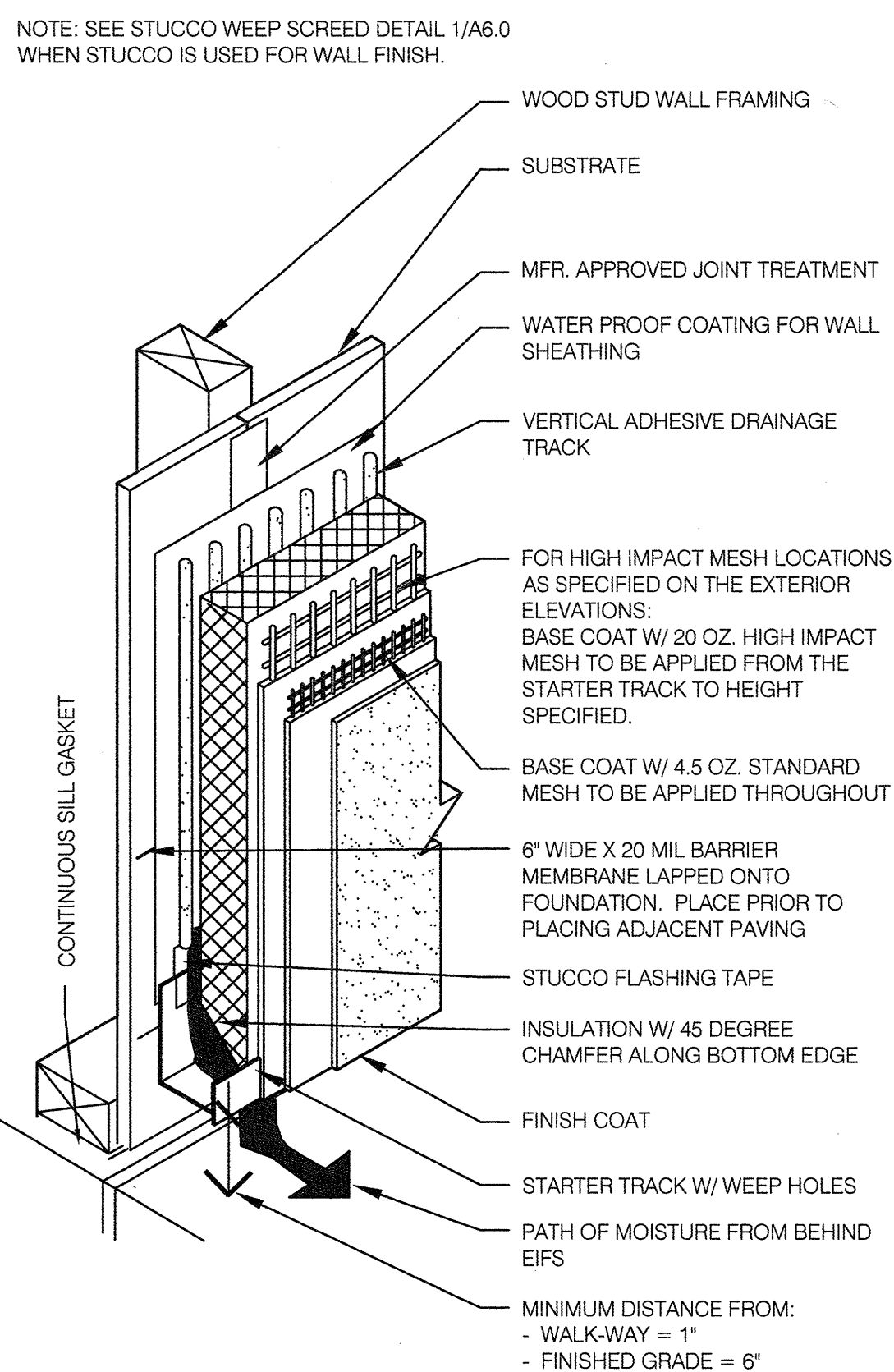
**CONNECTION THRU STUCCO** 3\"/>

**9**



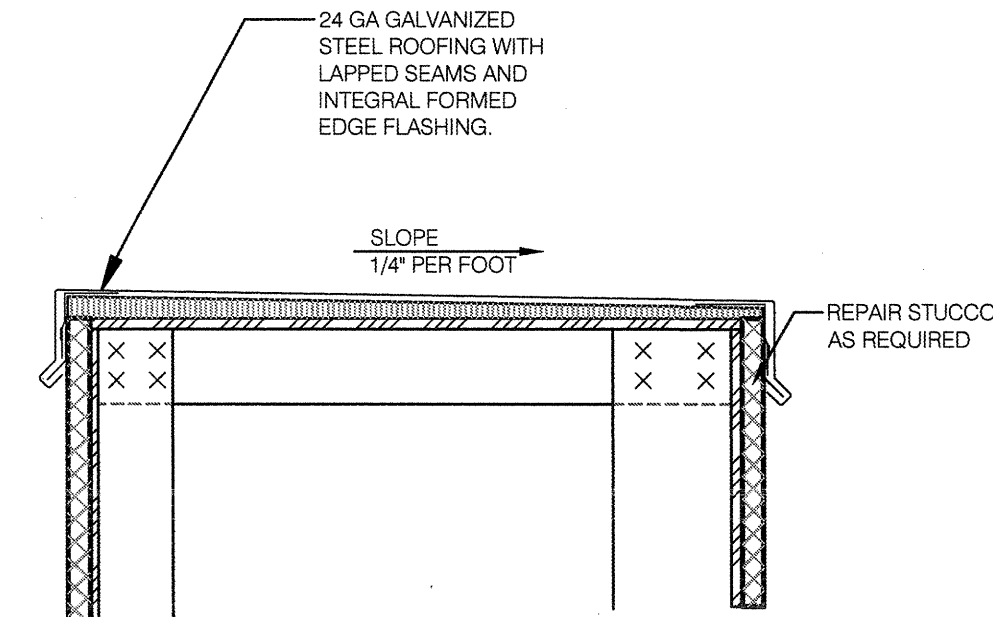
**STUCCO BAND DETAIL** 3\"/>

**10**



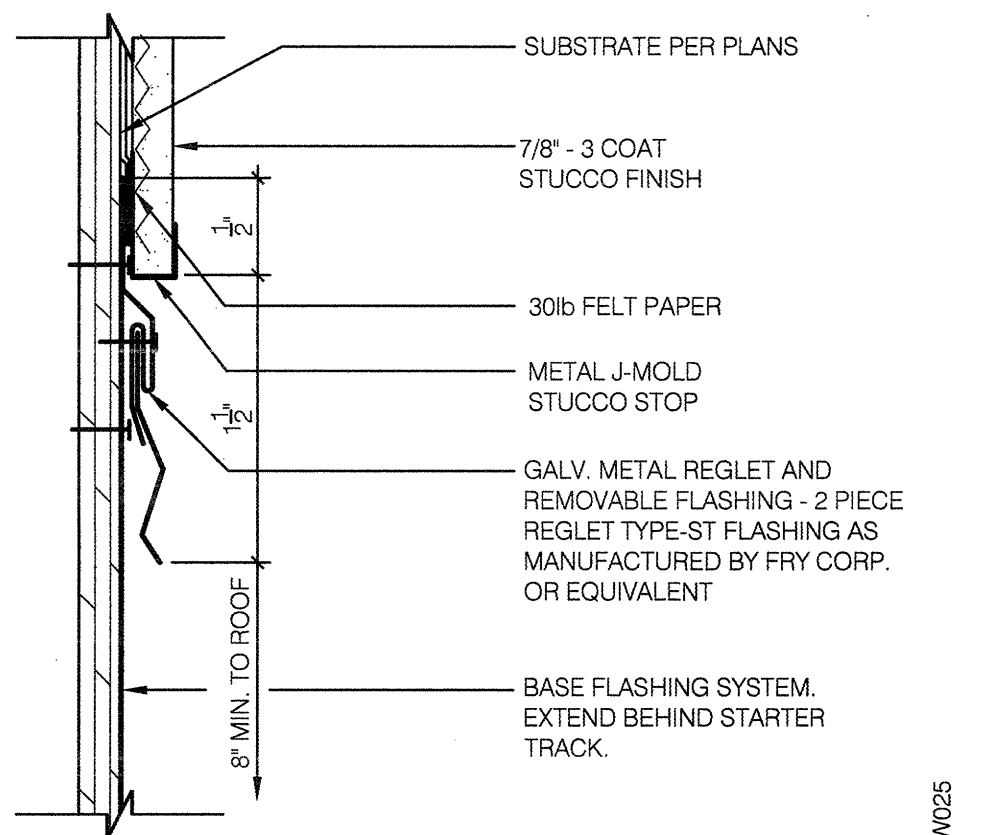
**TYP. STUCCO BASE TERMINATION** N.T.S.

**12**



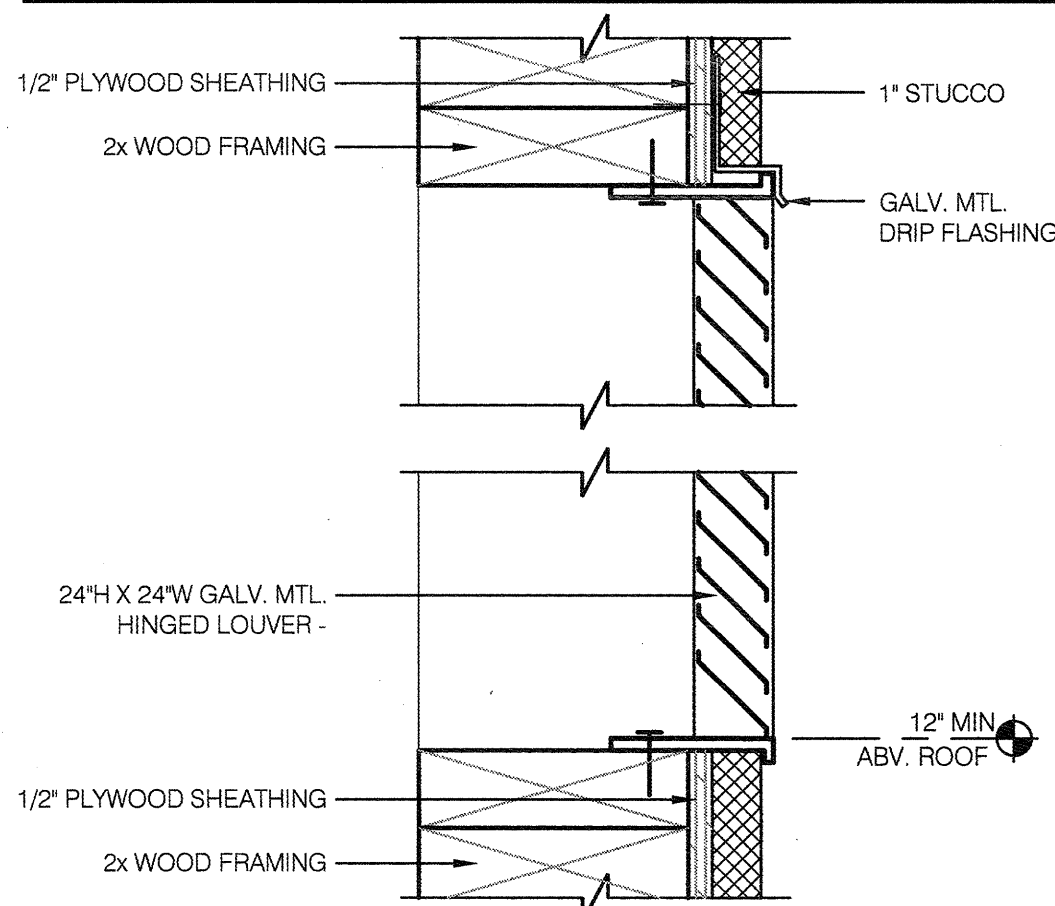
**TOWER CAP TRIM** N.T.S.

**5**



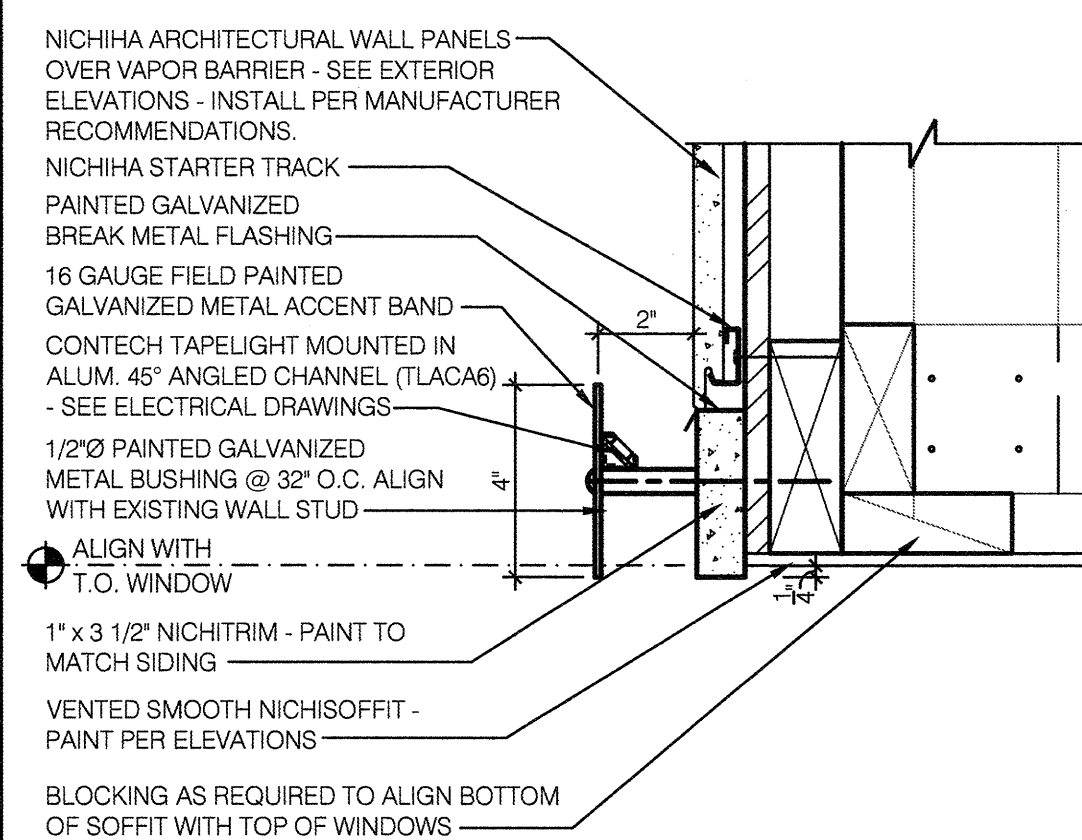
**STUCCO TO BASE FLASHING** N.T.S.

**6**



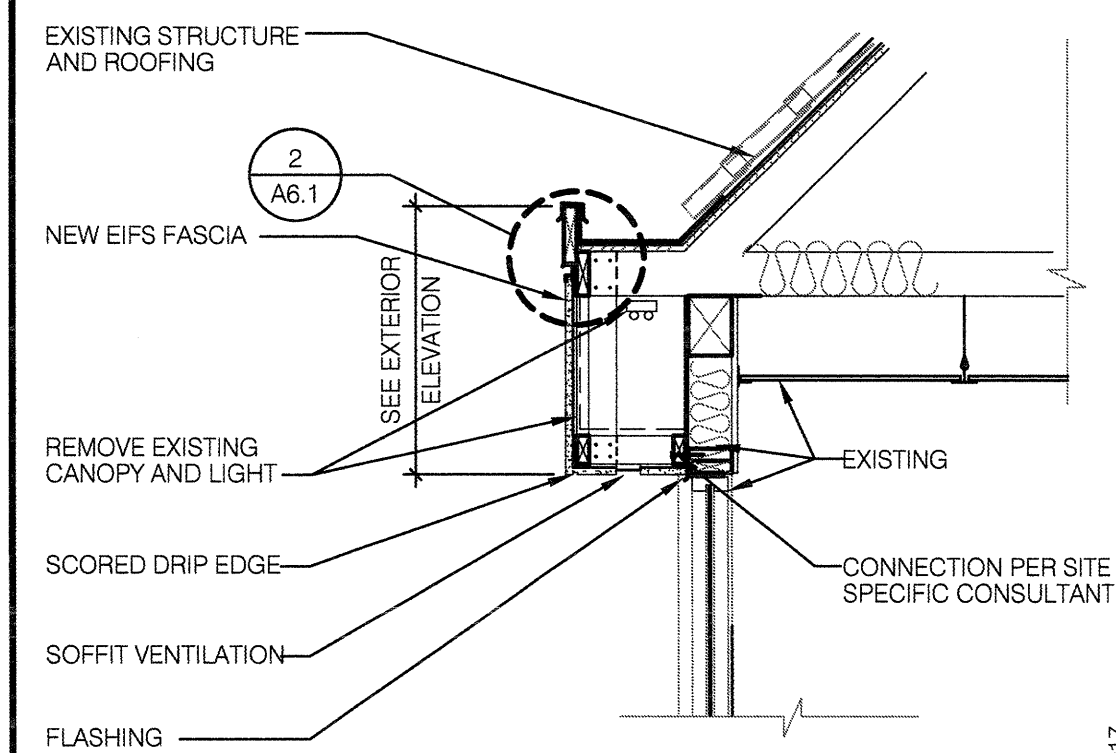
**LOUVER DETAIL** 3\"/>

**7**



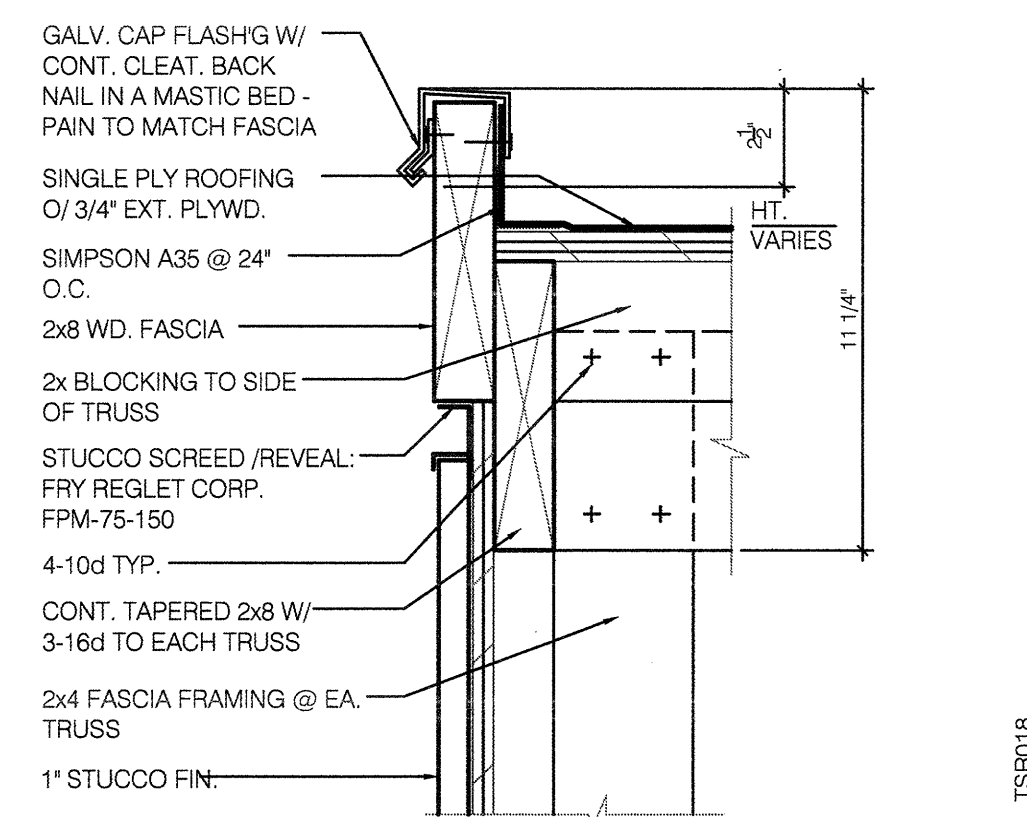
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**8**



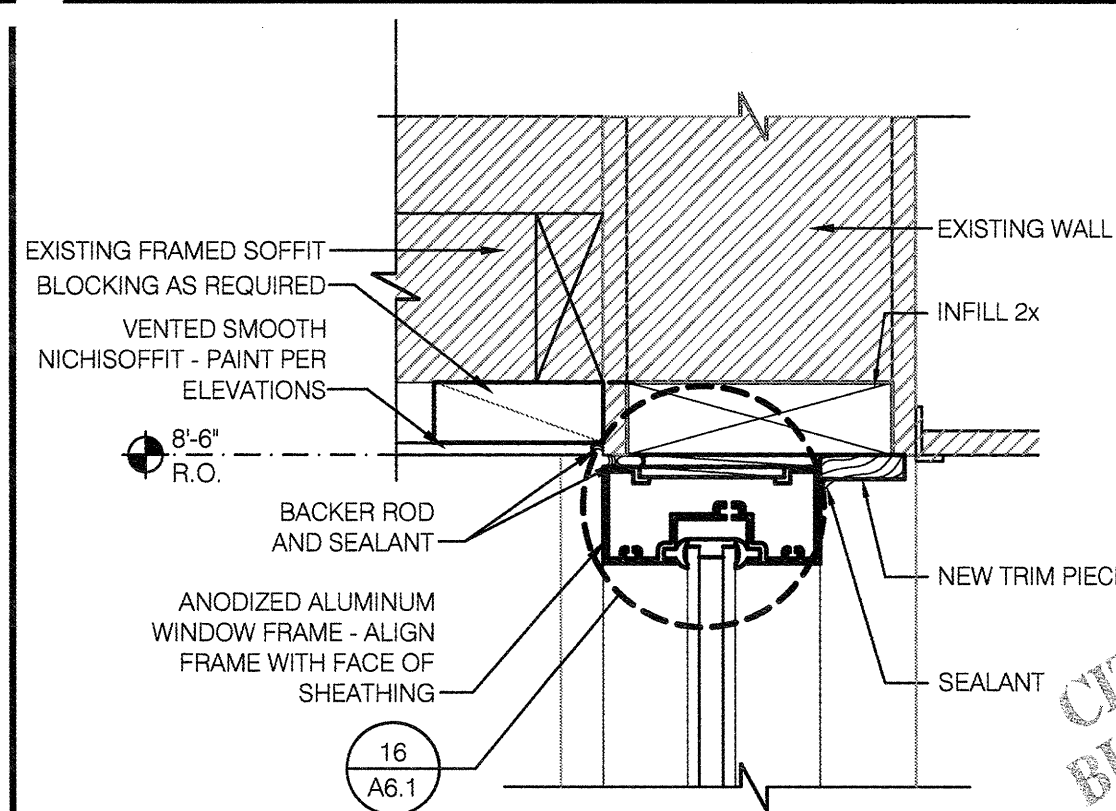
**REPLACEMENT SOFFIT** N.T.S.

**1**



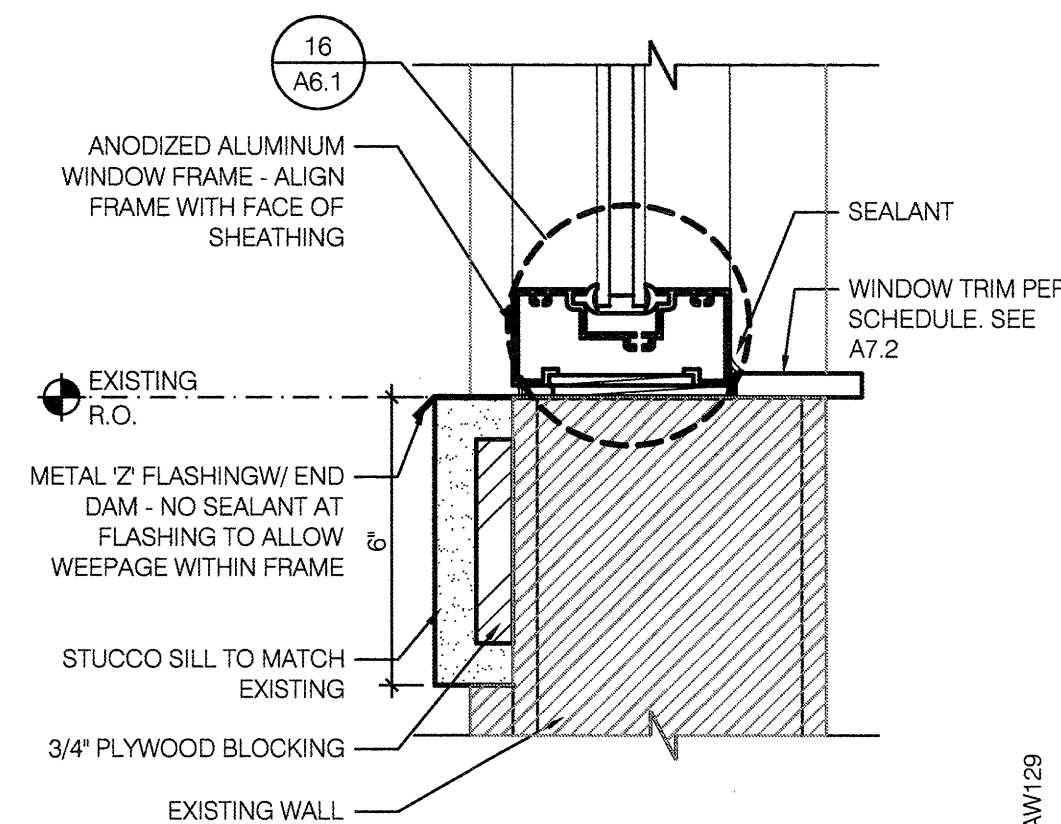
**STUCCO FASCIA** N.T.S.

**2**



**WINDOW HEAD** 3\"/>

**3**



**WINDOW SILL** 3\"/>

**4**

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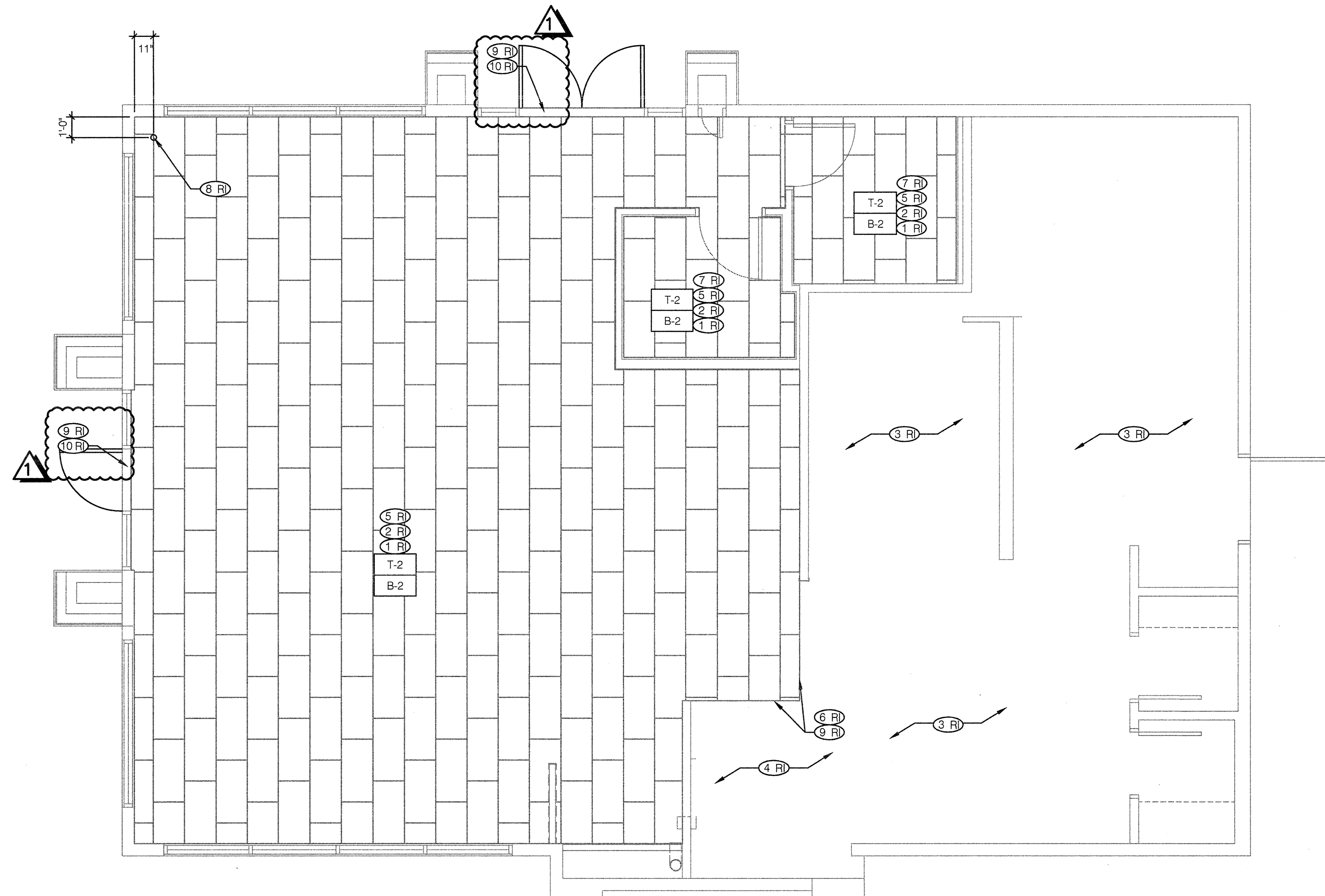


**M70H**  
EXPLORER  
REVERSE

**CONSTRUCTION**  
**DETAILS**

**A6.1**





NOTES:  
SEE INTERIOR ELEVATIONS, SHEETS A8.0 & A8.1 FOR  
WALL TILE APPLICATION.

**FINISH FLOOR PLAN** 1/4"=1'-0" **A**

- A. SEE INTERIOR ELEVATIONS FOR PAINTING, GYPSUM BOARD AND TILE.
- B. ☐ DENOTES FINISH MATERIAL. REFER TO SHT A7.2 FOR FINISHES.
- C. TILE JOINTS (J.O.N.):  
1. QUARRY FLOOR TILE : 1/4"  
2. CERAMIC FLOOR TILE : 3/16"  
3. GLAZED WALL TILE : 1/8"  
4. BASE, TRIM AND ACCESSORIES : MATCH ADJOINING TILE UNITS
- D. PROVIDE BREAK IN TILE TO MATCH-UP WITH EXPANSION & CONTROL JOINTS IN SLAB.
- E. ALL BASE TILE SHALL BE SANITARY COVE STYLE WITH 3/8" MIN RADIUS.
- F. SEE SCOPE OF WORK FOR RESPONSIBILITIES.
- H. PROVIDE CLEAR SILICONE CAULK WHERE ALL FIXED AND BUILT-IN COUNTERS / EQUIPMENT ABUTS WALL SURFACE.
- I. SEE SHEET A1.0 FOR REFERENCES OF INTERIOR ELEVATIONS.
- J. ALL GROUT CAULK TO MATCH SPECIFIED GROUT COLOR.

- REMODEL IMAGE (RI)
- (1 RI) NEW FLOOR TILE AND BASE. SEE FINISH NOTE 'B'.
- (2 RI) INSTALL FLOOR TILE WITH OFFSET NO MORE THAN 33% OR INSTALL IN A STRAIGHT STACK BOND.
- (3 RI) KITCHEN NOT IN SCOPE OF WORK
- (4 RI) EXISTING TO REMAIN. PATCH AS REQUIRED TO MATCH EXISTING. (SEE FINISH SCHEDULE, T-1 AND B-1.)
- (5 RI) G.C. SHALL PROVIDE 1/2" HIGH CEMENT BOARD BACKING, FLUSH WITH EXISTING WALL SURFACE, BEHIND ALL NEW QUARRY TILE BASES. PROVIDE A CLEAR SILICONE SEAL. PAINT AT THE TOP OF THE BASE TILE. (FRONT OF HOUSE ONLY.)
- (6 RI) INSTALL NEW TILE EDGE TO BE FLUSH WITH EXISTING TILE EDGE.
- (7 RI) TOILETS SHALL BE REMOVED BEFORE TILE INSTALLATION AND THEN REPLACED.
- (8 RI) TILE START POINT.
- (9 RI) FLOAT FLOOR TILE FOR A SMOOTH TRANSITION
- (10 RI) REFER TO DETAILS 12/ADA1.0 & 14/ADA1.1 FOR CHANGES IN LEVEL.

ADA NOTES (AD)

CUSTOMER TOUCH POINT (CT)

NOT USED

E

NOT USED

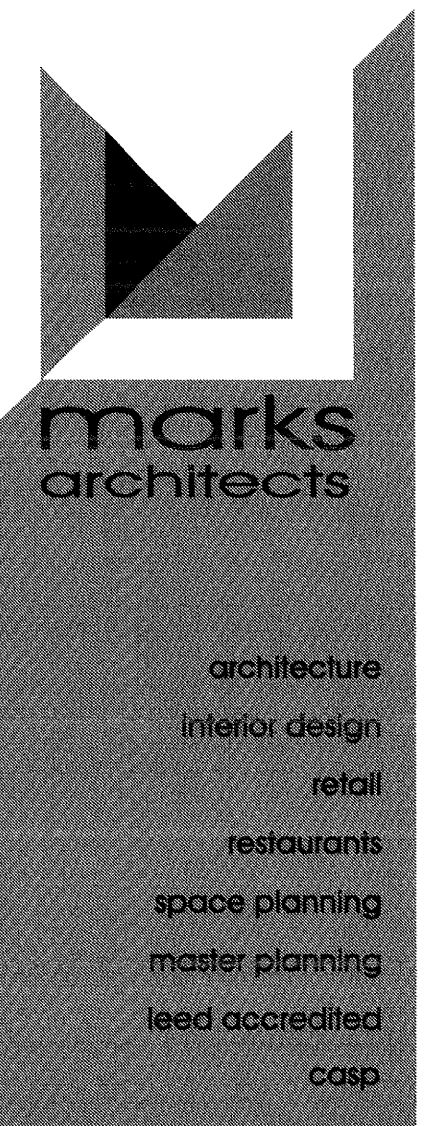
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FINISH NOTES

C

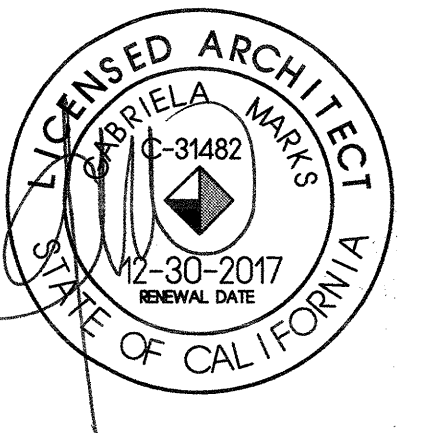
KEY NOTES

B



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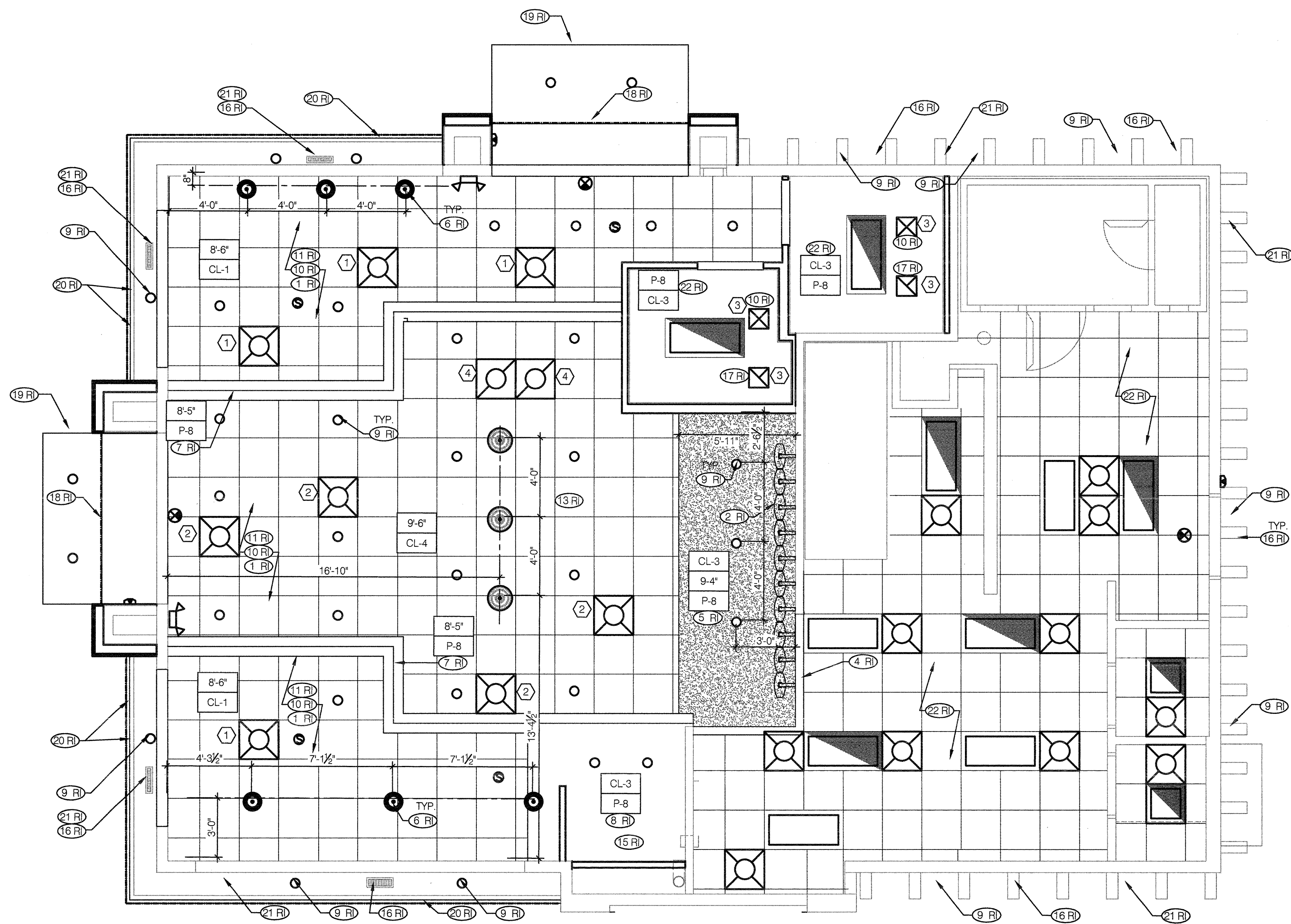


M70H  
EXPLORER  
REVERSE

**FINISH  
FLOOR  
PLAN**

**A7.0**





#### DESIGNER NOTE:

COMPANY STORES ARE REQUIRED TO INSTALL NEW LED FIXTURES IN THE BACK OF HOUSE AND RESTROOMS. FRANCHISEES WILL HAVE THIS OPTION BUT UPGRADING TO LED IS NOT REQUIRED. FRANCHISEES WILL HOWEVER ENSURE THE LIGHTING FIXTURES ARE IN LIKE NEW CONDITION PER SBA.

AT THE TIME OF ROUGH INSTALLATION, OR DURING STORAGE ON THE CONSTRUCTION SITE AND UNTIL FINAL STARTUP IF THE HEATING AND COOLING EQUIPMENT, ALL DUCT AND OTHER RELATED AIR DISTRIBUTION COMPONENT OPENINGS SHALL BE COVERED WITH TAPE, PLASTIC, SHEET METAL OR REDUCE THE AMOUNT OF DUST OR DEBRIS WHICH MAY COLLECT IN THE SYSTEM.

#### REFLECTED CEILING PLAN 1/4"=1'-0" A

1	MFR.: EGER PRODUCTS, INC. MODEL: EGER ADVANTAGE AIR DIFFUSERS: EA314-B COLOR: BLACK SIZE: 2" TALL, 14" COLLAR, 24x24 TYPE: DIFFUSER MATERIAL: PLASTIC MOUNTING: LAY-IN
2	MFR.: EGER PRODUCTS, INC. MODEL: EGER ADVANTAGE AIR DIFFUSERS: EA314-W COLOR: WHITE SIZE: 2" TALL, 14" COLLAR, 24x24 TYPE: DIFFUSER MATERIAL: PLASTIC MOUNTING: HARD CEILING/LAY-IN
3	MFR.: EGER PRODUCTS, INC. MODEL: EGER ADVANTAGE AIR DIFFUSERS: EA12X12-08W COLOR: WHITE SIZE: 2" TALL, 8" COLLAR, 12x12 TYPE: DIFFUSER / RETURN MATERIAL: PLASTIC MOUNTING: HARD CEILING
4	MFR.: EGER PRODUCTS, INC. MODEL: EGER ADVANTAGE AIR RETURN GRILLES: EFARECOW COLOR: WHITE SIZE: 2" TALL, 24x24 TYPE: RETURN GRILLE MATERIAL: PLASTIC MOUNTING: HARD CEILING/LAY-IN
DISTRIBUTOR: GARY BELTZ, OWNER 330.418.9348 BUCKEYE PLASTIC AIR DIFFUSERS 3936 APRIL DRIVE UNIONTOWN, OHIO 44685	
PLASTIC DIFFUSER SPECIFICATION N.T.S. F	

EXTERIOR SOFFIT LIGHT
WALL SCONCE
PENDANT FIXTURE
NEW LED DOWNLIGHT
EXIT LIGHT (CEILING MOUNTED)
2X4 LED FIXTURE (NEW)
HVAC RETURN GRILLE (NEW) INSULATED SEE SPEC F/A7.1
HVAC SUPPLY DIFFUSER (NEW) SEE SPEC F/A7.1
EMERGENCY LIGHTS
LED STRIP LIGHT
2X2 FLUORESCENT FIXTURE (NEW)
CEILING SYMBOL LEGEND E

DIMENSIONS: A. ALL DIMENSIONS ARE TO FACE OF FINISH U.O.N.
CEILING FINISHES: A. REFER TO ROOM FINISH SCHEDULE (SHT A7.2) FOR CLG. FINISHES.
SUSPENDED CEILING: A. ACOUSTICAL PANEL INSTALLATION: INSTALL ACOUSTICAL PANELS WITH EDGES IN CLOSE CONTACT WITH METAL SUPPORTS AND IN TRUE ALIGNMENT. B. ALLOWABLE VARIATIONS FROM FLAT AND LEVEL SURFACE: 1/8" IN 10'-0" MAX. C. ALLOWABLE VARIATIONS FROM PLUMB OF GRID MEMBERS: AS CAUSED BY ECCENTRIC LOADS, 2" MAX. D. INSTALL SYSTEM AFTER MAJOR ABOVE CLG. WORK IS COMPLETE. COORD LOCATIONS OF HANGERS WITH RELATED WORK. E. SEE SPECS FOR ADDITIONAL INFORMATION. F. CUT EDGES OF REGULAR TILES SHALL BE ROUTED.
GYPSUM BOARD CEILING: A. SUBSTRATE SHALL BE 1/2" THICK GYP. BD. B. ACOUSTICAL SEALANT: APPLY TO GYP. BD. PANELS AS INDICATED IN SPECS. C. GYP. BD. FINISHING AND DECORATING: REFER TO DWGS FOR TEXTURE AND FINISHES.
ELECTRICAL: A. SEE ELECT. DWGS. FOR FIXTURE SCHED. B. EXISTING EMERGENCY LIGHTS TO REMAIN. C. CEILING MOUNTED OUTLETS & PLATES SHALL BE BLACK. D. PENDANTS SHALL BE CENTERED OVER TABLES. VERIFY TABLE LOCATIONS WITH SEATING VENDOR SUPPLIED CORE DRILL PLAN PRIOR TO LOCATING PENDANTS.
MECHANICAL: A. ALL DINING ROOM SUPPLY AND RETURN GRILLES SHALL BE INSULATED. FAILURE TO COMPLY WILL RESULT IN INSTALLATION BEING REJECTED, CORRECTIONS MADE AND ALL REMEDIAL COSTS CHARGED BACK TO CONTRACTOR.
REMODEL IMAGE (RI) 1. RI NEW CEILING GRID AND TILES PER SCHEDULE. 2. RI REINSTALL EXISTING REVOLUTION MENUBOARD. 3. RI NOT USED. 4. RI EXISTING MENU BOARD BULKHEAD TO BE PAINTED. MODIFY PER 12/A6.0 IF EXISTING IS SLANTED. 5. RI NEW GYP. BD CEILING OVER SERVICE COUNTER. 6. RI PENDANT LTG - CENTER OVER TABLE TOP AS INDICATED. SEE ME1.0 7. RI EXISTING STEPPED SOFFIT TO REMAIN. 8. RI EXISTING SOFFIT TO REMAIN. 9. RI NEW RECESSED DOWNLIGHT. SEE ME1.0. 10. RI REPLACE EXISTING GRILLES/DIFFUSERS 11. RI ALL NEW AND REUSED CEILING ACCESSORIES SHALL BE PAINTED TO MATCH CEILING. 12. RI NOT USED. 13. RI NEW PENDANT LIGHT FIXTURES. CENTER OVER WORKBENCH TABLES. 14. RI PROVIDE NEW DIFFUSERS IN GENERAL PROXIMITY TO EXISTING DUCT WORK. INSULATE DIFFUSERS, THROAT, AND DUCTWORK. 15. RI COORDINATE WITH PEPSI FOR EQUIPMENT PROVIDED AND MODIFY CEILING AS REQUIRED TO MAINTAIN CLEARANCES FOR ICE MACHINE. NOTIFY ARCHITECT PRIOR TO BUILDING MODIFICATIONS IN THIS AREA.
REFLECTED CEILING PLAN NOTES D

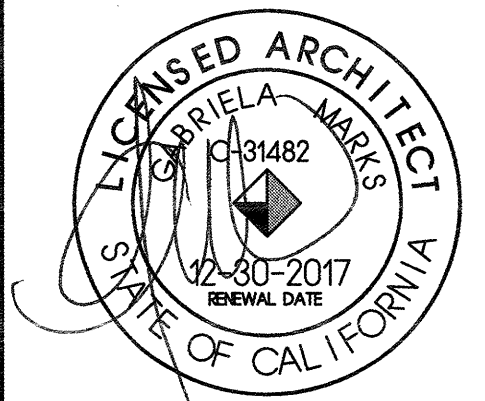
16. RI SOFFIT VENTING MUST COMPLY WITH THE FOLLOWING: ENCLOSED ATTICS/RAFTER SPACES FORMED WHERE CEILINGS ARE APPLIED DIRECTLY TO THE UNDERSIDE OF ROOF FRAMING SHALL HAVE NET FREE VENTILATING AREA OF NOT LESS THAN 1/150 OF THE AREA OF THE SPACE VENTILATED, OR AS REQUIRED BY LOCAL CODE. PROVIDE 4"x12" MIN. SOFFIT VENTS. NO VENTS TO BE WITHIN 9" OF SOFFIT CAN LIGHTS.
17. RI NEW EXHAUST GRILLE. CONNECT GRILLE TO EXISTING EXHAUST DUCTWORK ABOVE CEILING.
18. RI NEW LED STRIP LIGHT ABOVE CANOPY AT PERIMETER OF TOWER RECESS.
19. RI NEW CANOPY BY VENDOR. SEE SCOPE OF WORK
20. RI NEW LED STRIP LIGHT ON ARCHITECTURAL ACCENT.
21. RI REMOVE ILLUMINATED AWNING (WHERE OCCURS) AND CONSTRUCT NEW WOOD FRAMED SOFFIT PER DETAIL 1/A6.1
22. RI NEW LED TRAFFER LIGHTING IN BACK OF HOUSE AND RESTROOMS, SEE ME1.0
ADA NOTES (AD) CUSTOMER TOUCH POINT (CT)
KEY NOTES B

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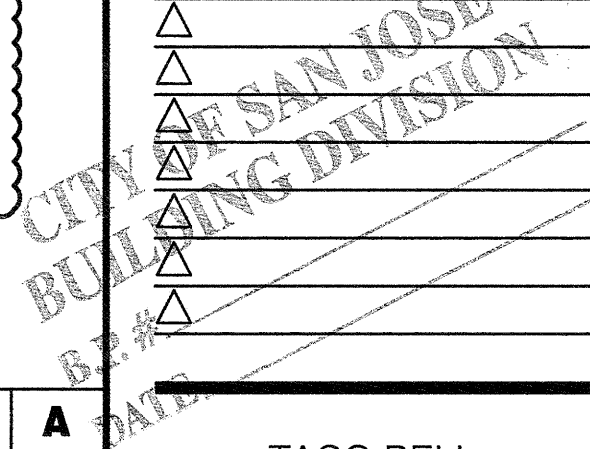
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#### REFLECTED CEILING PLAN

**A7.1**







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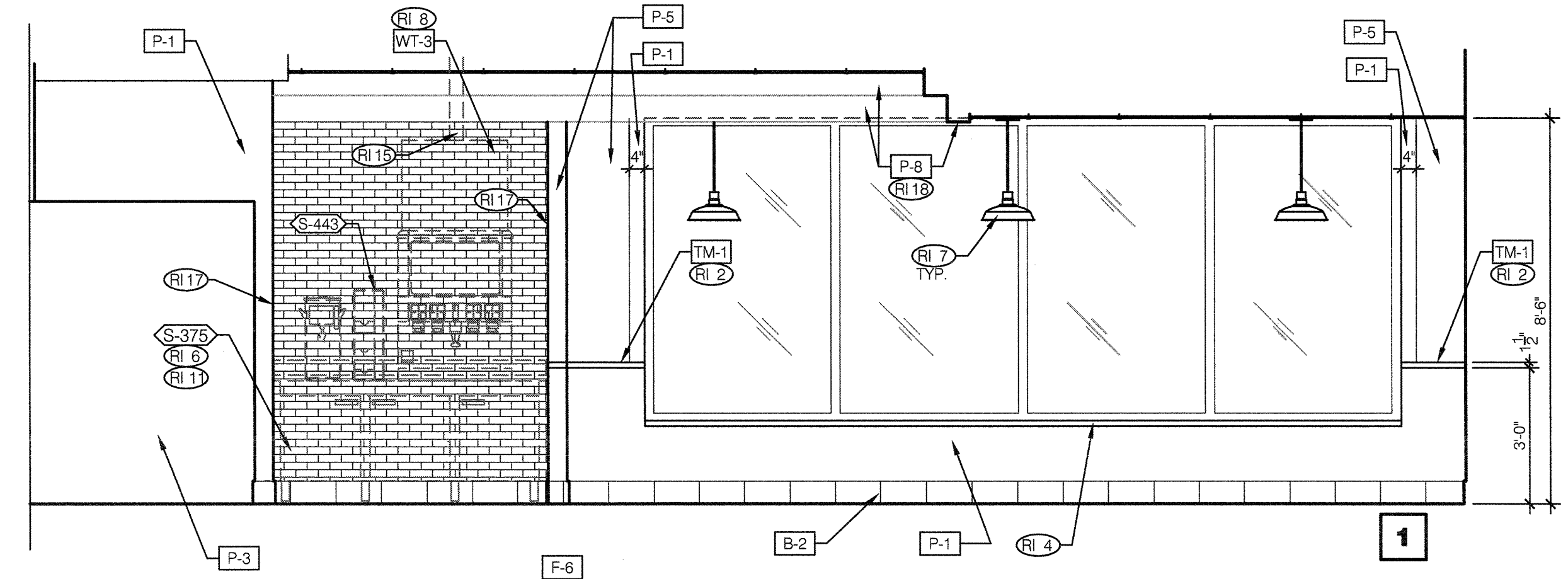
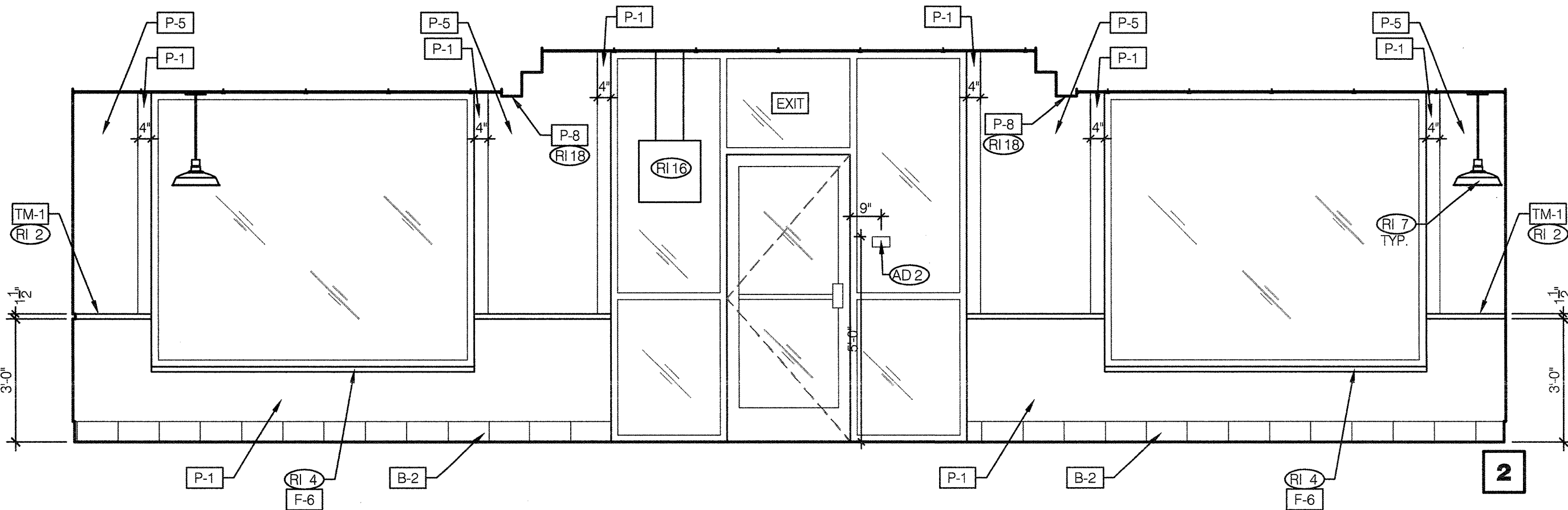
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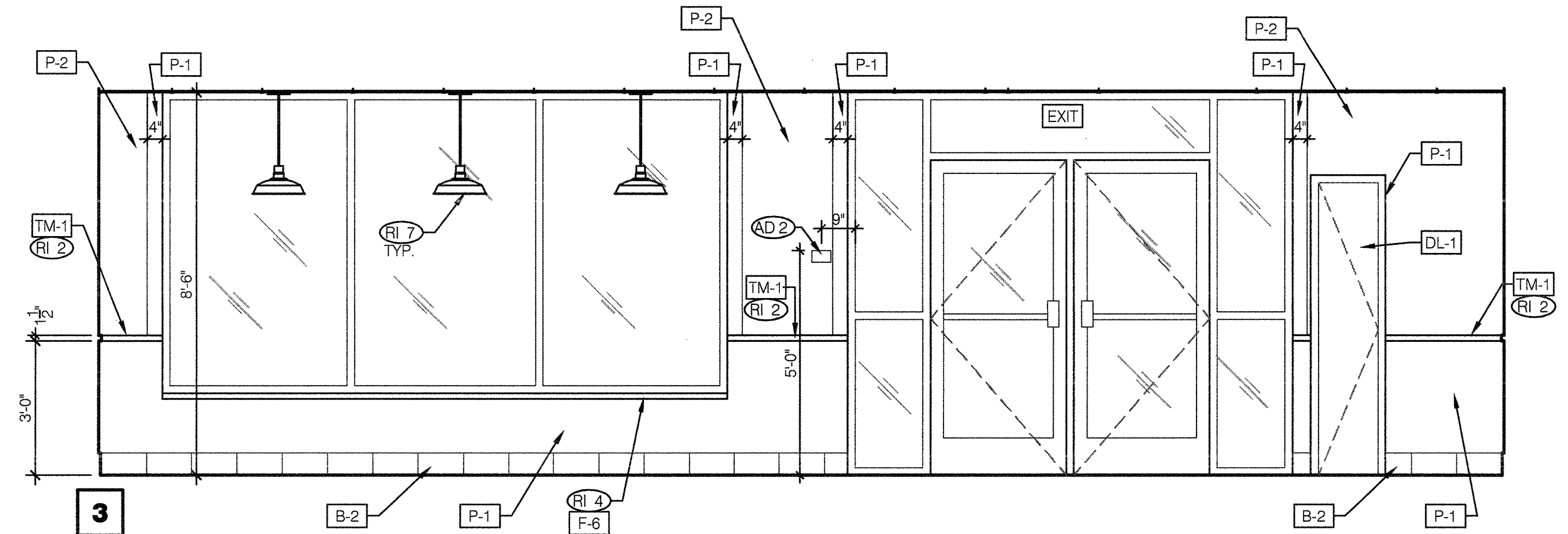
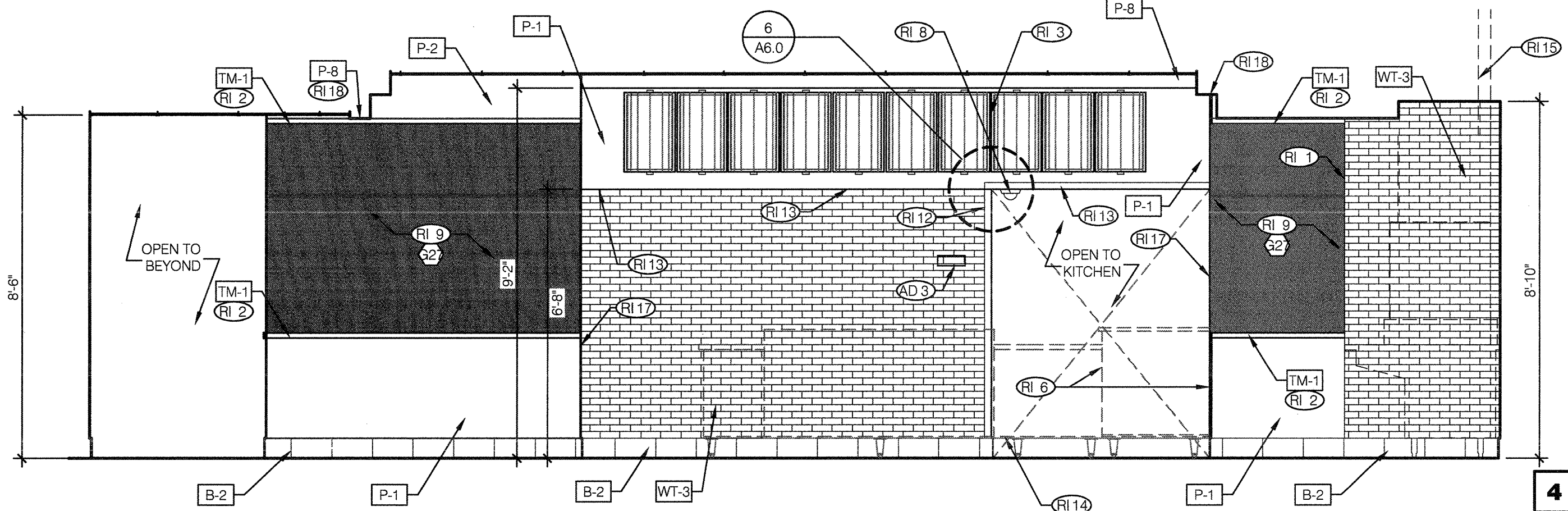
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INTERIOR  
ELEVATIONS  
DINING ROOM

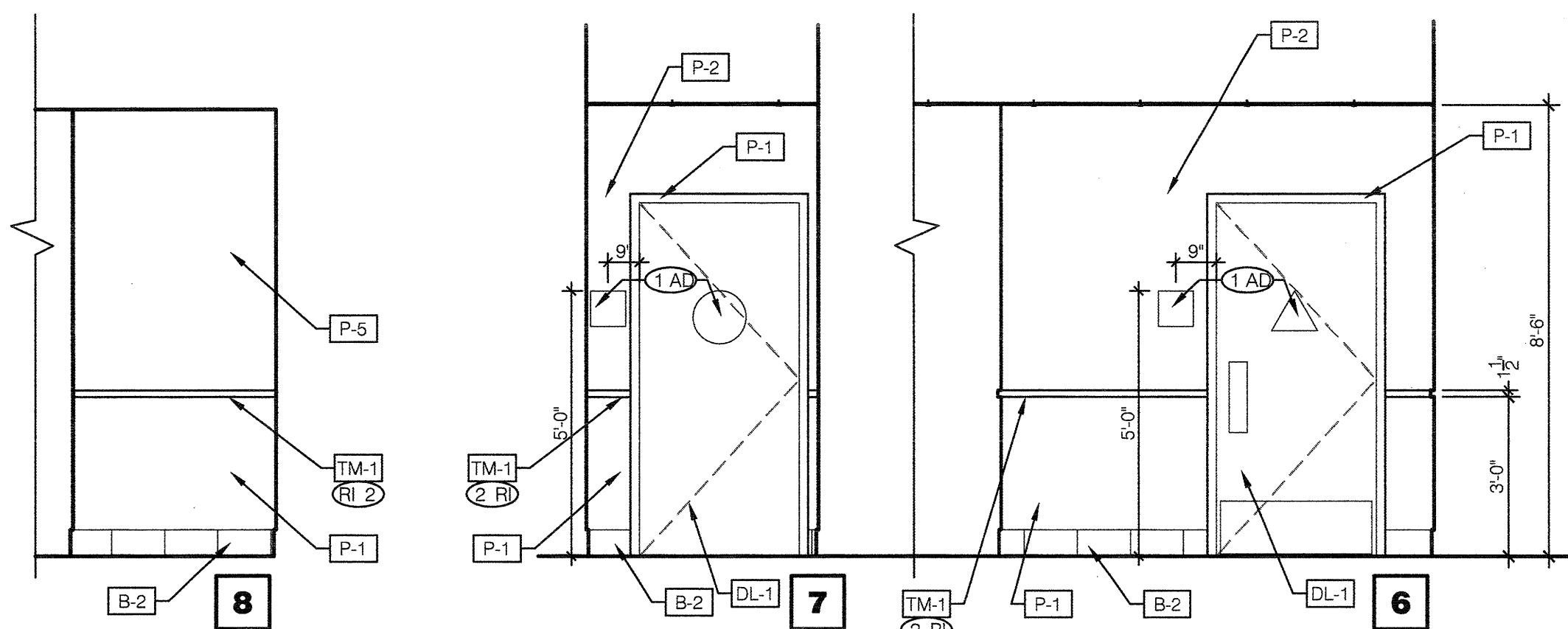
A8.0



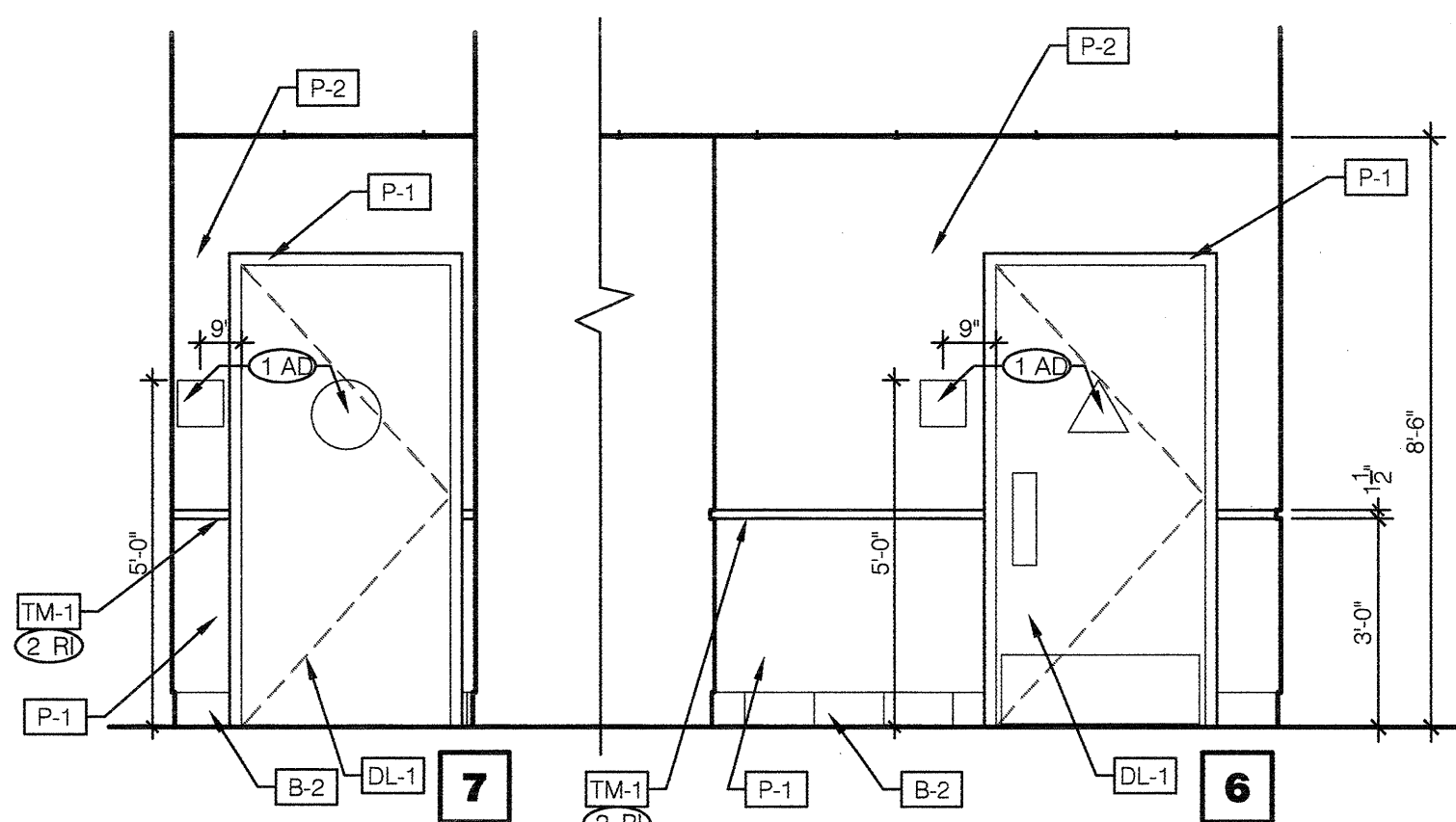
DINING 3/8" = 1'-0"



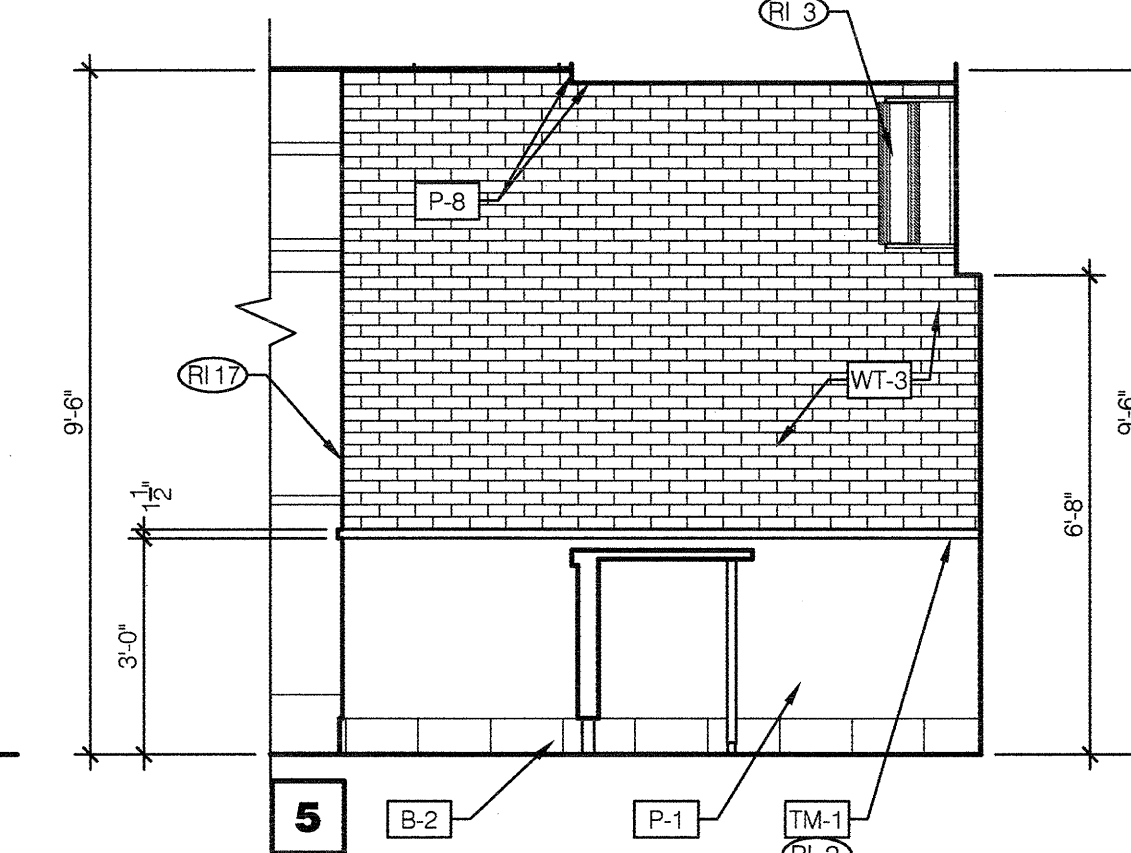
DINING 3/8" = 1'-0"



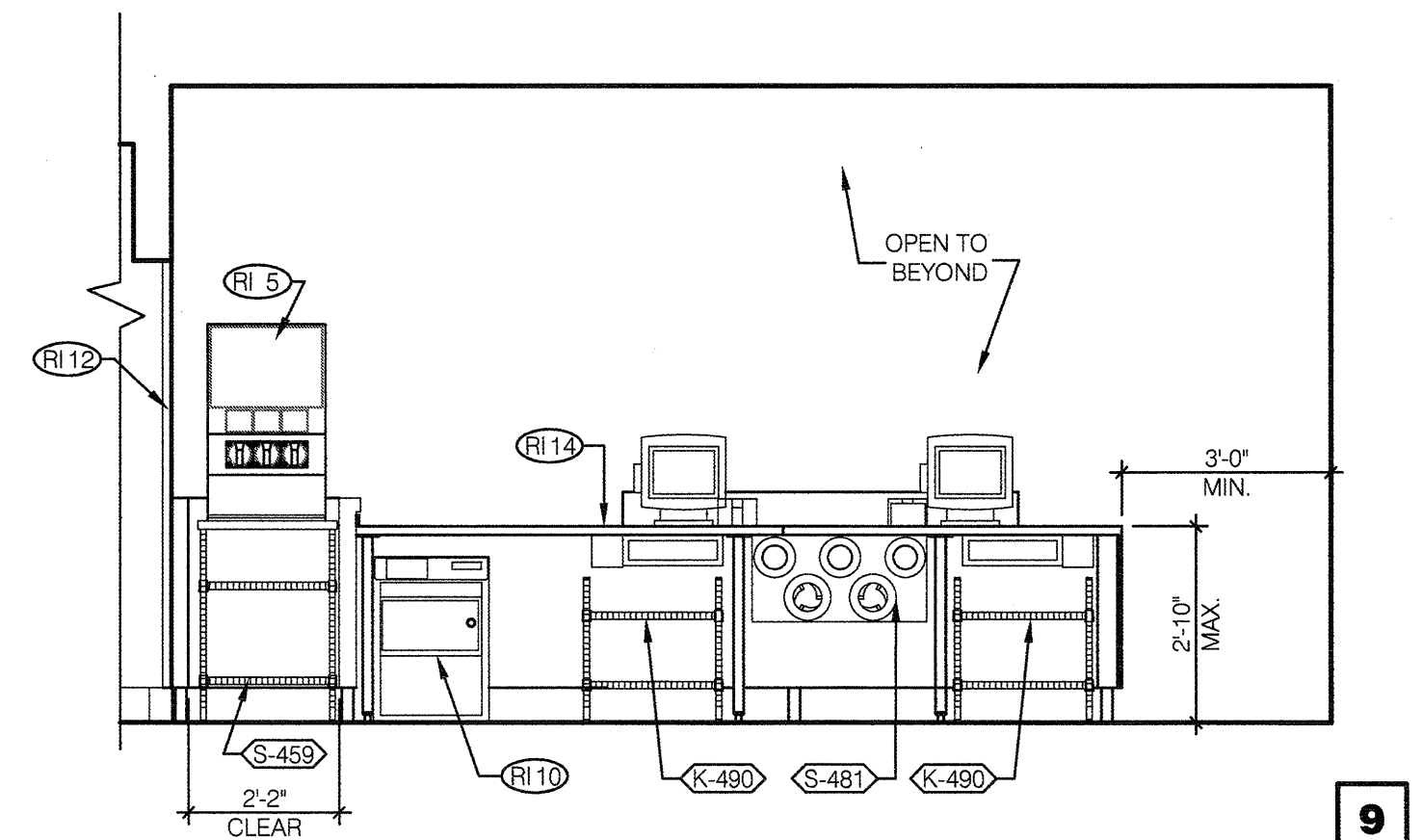
DINING 3/8" = 1'-0"



PASSAGE 3/8" = 1'-0"



SERVING 3/8" = 1'-0"



SERVING 3/8" = 1'-0"

#### REMODEL IMAGE (RI)

- (1) RI INSTALL 1/2" NEUTRAL GREY SCHULTER WALL TRIM AT TILE EDGE.
- (2) RI CHAIR RAIL. SEE 15/A6.0.
- (3) RI REVOLUTION MENUBOARD
- (4) RI NEW WINDOW SILL
- (5) RI REINSTALL FRUITISTA MACHINE ON NEW CART.
- (6) RI PROVIDE CLEAR SILICONE CAULK WHERE ALL FIXED AND BUILT-IN COUNTERS / EQUIPMENT ABUT WALL SURFACES. WHERE GAP BETWEEN WALL AND COUNTER SPLASH / EQUIPMENT EXCEEDS 1/4", PROVIDE S.S. CLOSURE ANGLE.
- (7) RI DROP PENDANT LIGHT FIXTURE. SEE SCOPE OF WORK.
- (8) RI INSTALL WALL TILE ON ALL SIDES OF ALCOVE.
- (9) RI WALL GRAPHIC SHOWN SHADED. SEE SHEET A2.0.
- (10) RI REINSTALL EXISTING SAFE.
- (11) RI NOT USED.
- (12) RI 2" X 2" SS CORNER/ END WALL CHANNEL GUARD, FULL HEIGHT.
- (13) RI STAINLESS WRAP TO FINISH OFF UNDERSIDE OF BULKHEAD.
- (14) RI SERVING COUNTER. REFER TO SHEET A2.0.
- (15) RI PROVIDE STAINLESS SHROUD TO COVER REFRIGERATION LINES ABOVE SELF SERVE DRINK
- (16) RI "DRIVE THRU OPEN LATE" SIGN. INSTALL ON STREET SIDE.
- (17) RI INSTALL WHITE OR BRUSHED METAL QUARTER ROUND MATCHING INSTALLED TILE THICKNESS AT EXPOSED EDGE.
- (18) RI STEPPED SOFFIT (IF EXISTING) TO REMAIN.

#### ADA NOTES (AD)

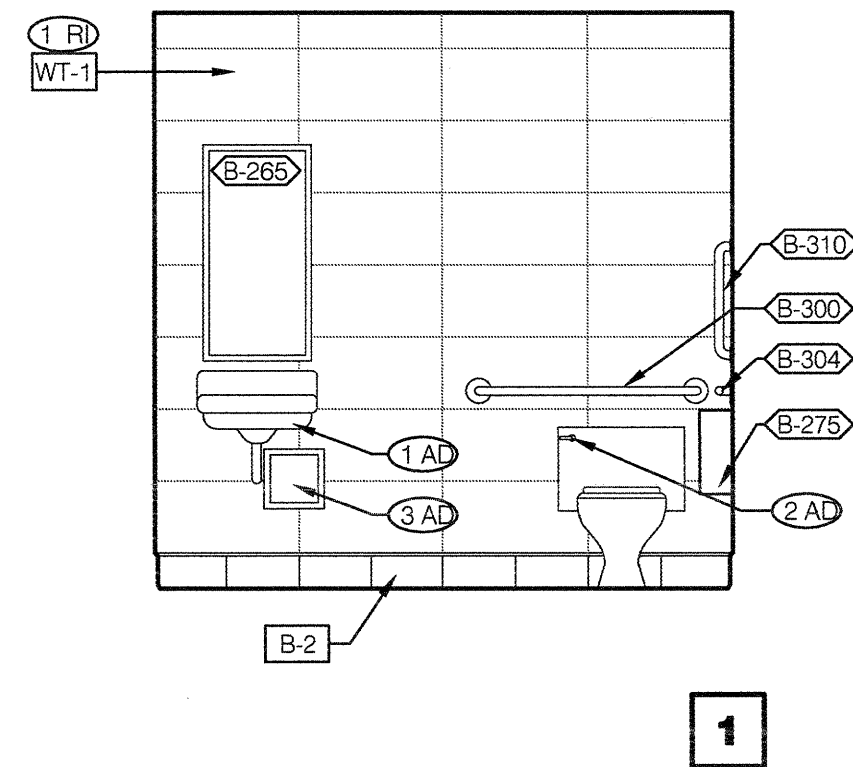
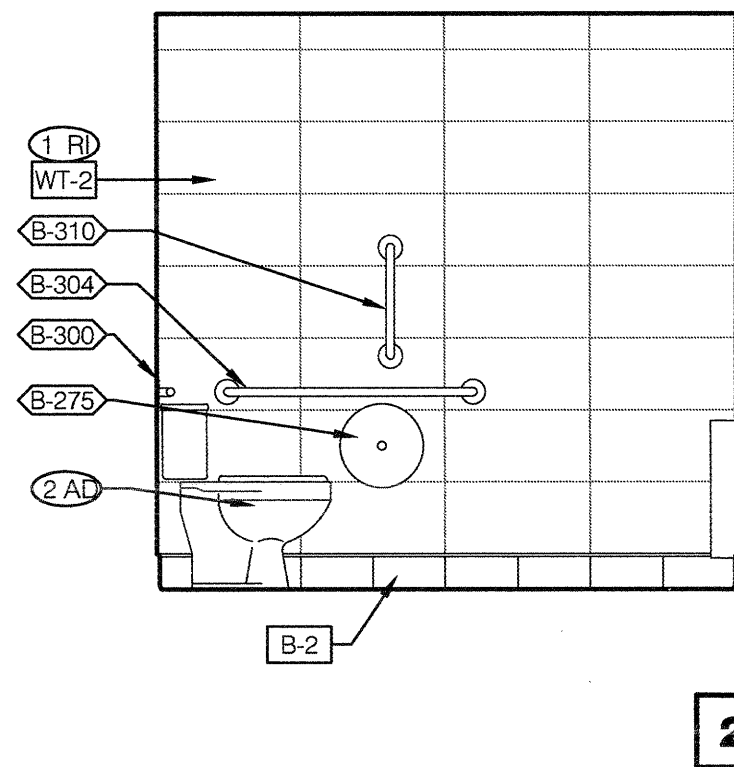
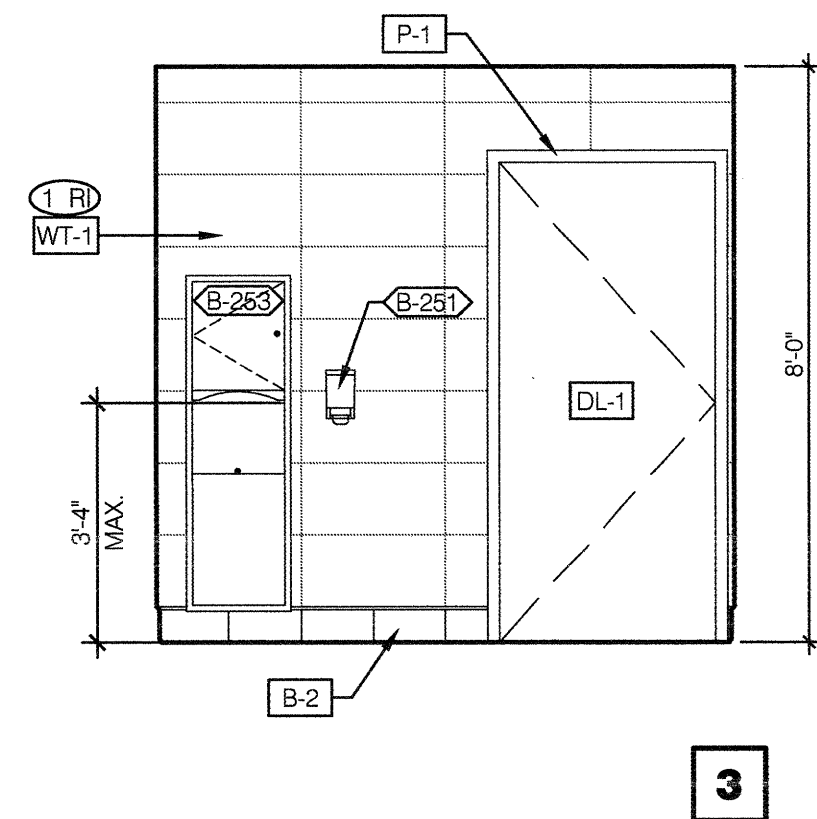
- (1) AD ACCESSIBLE SIGNAGE. VERIFY LOCAL REQUIREMENTS.
- (2) AD PROVIDE TACTILE EXIT SIGN AT EGRESS DOOR PER "TACTILE SIGN" DETAIL ON ADA.1.1 WHEN EXISTING IS NOT PROVIDED.
- (3) AD INSTALL "ASK IF YOU NEED ASSISTANCE SIGN."

#### CUSTOMER TOUCH POINT (CT)

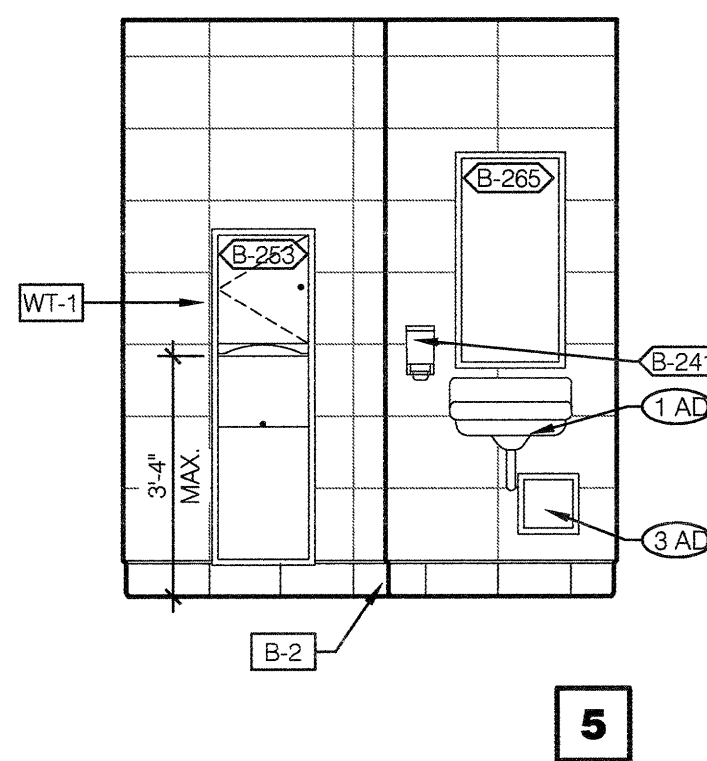
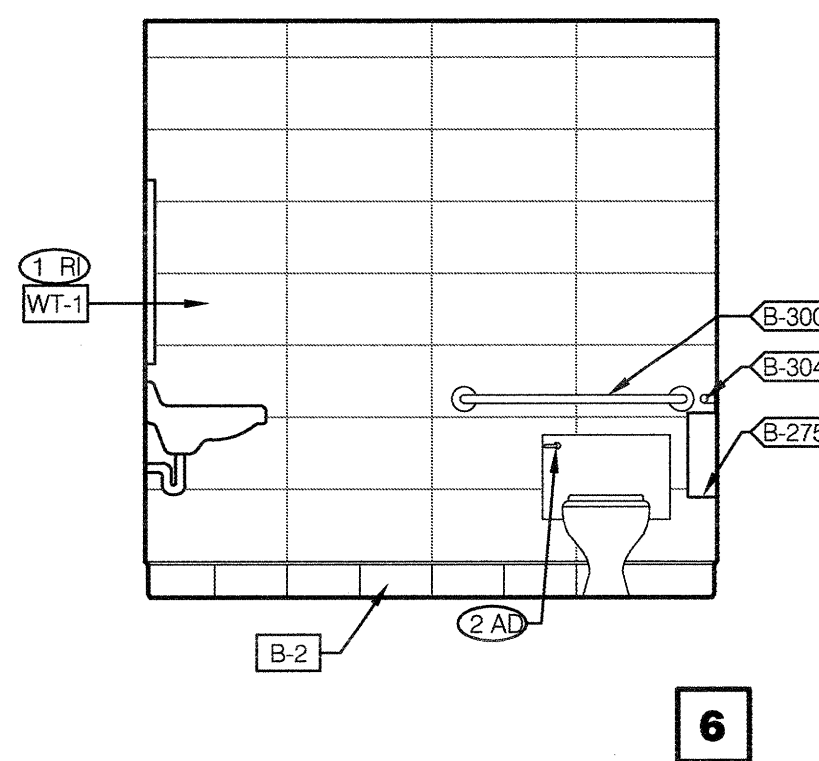
#### KEY NOTES

A

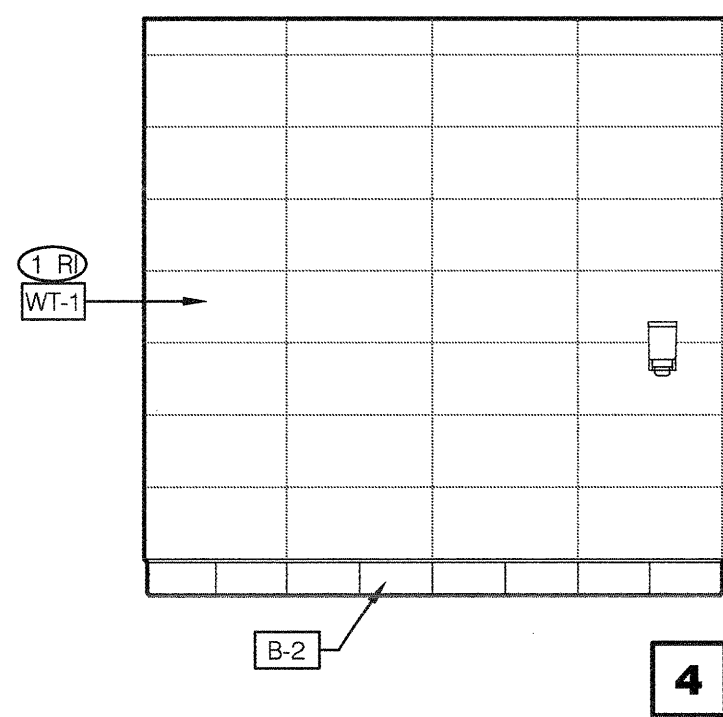




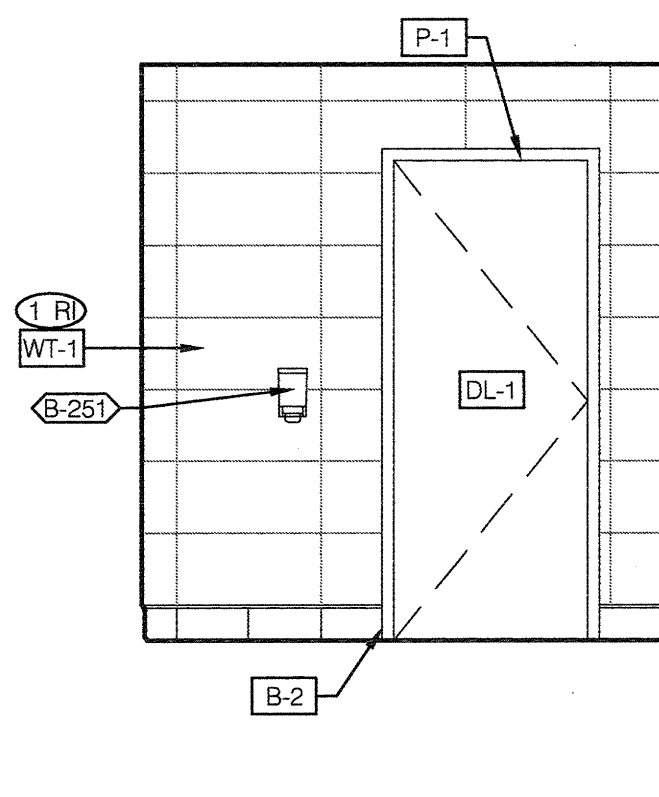
**MEN'S RESTROOM** 3/8"=1'-0"



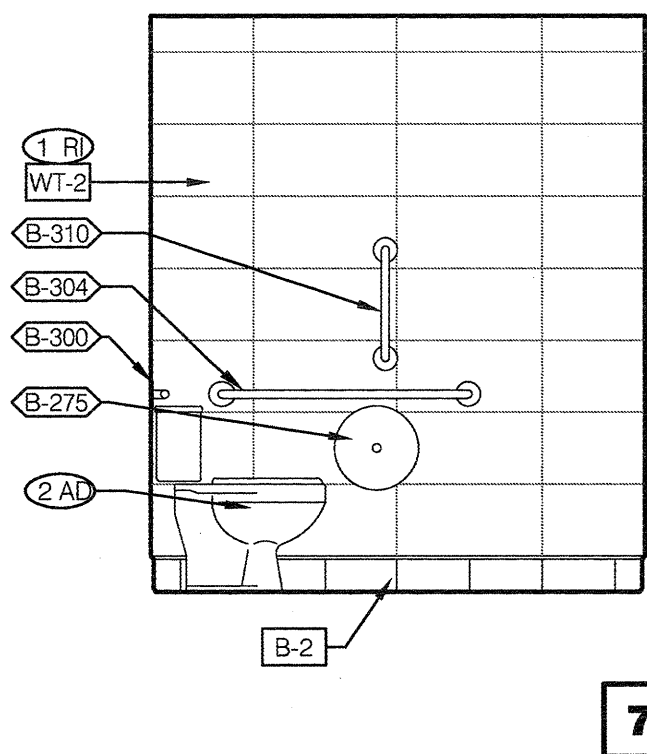
**WOMEN'S RESTROOM** 3/8"=1'-0"



**MEN'S RESTROOM** 3/8"=1'-0"



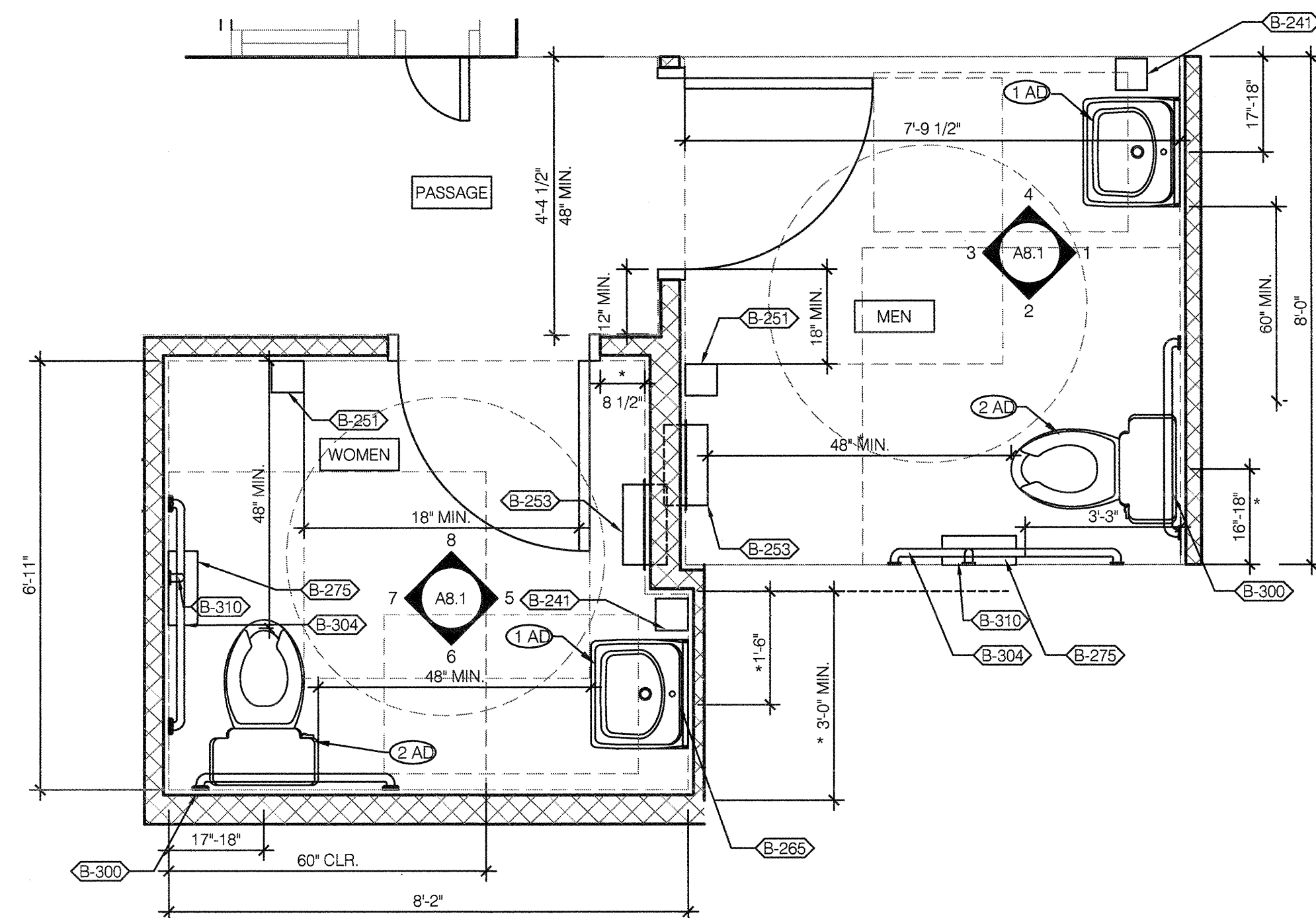
**WOMEN'S RESTROOM** 3/8"=1'-0"



**7**

NOTE: REFER TO SHEET ADA1.0 FOR MOUNTING HEIGHTS AND CLEARANCES OF ACCESSORIES AND FIXTURES.

**NOT USED** 3/8"=1'-0"



NOTE: ALL DIMENSIONS IN THIS PLAN ARE FINISH-TO-FINISH DIMENSIONS OR FINISH-TO-CENTER OF FIXTURE DIMENSIONS

\* INDICATES ABSOLUTE DIMENSION

**ENLARGED RESTROOM PLAN** 1/2"=1'-0" **A**

NO.	QTY.	MINIMUM EQUIPMENT REQUIRED	MFR. & MODEL NUMBER	BID
<b>B - CONTRACTOR BUILDING ELEMENTS</b>				
B-241	2	SOAP DISPENSER (WALL MOUNT)	KAY 3741	AD
B-251	2	SANITIZER DISPENSER (WALL MOUNT)	KAY 3741	AD
B-265	2	MIRROR, 18" X 36"	BOBRICK #B-265-1836 SURFACE MTD	AD
B-275	2	TOILET PAPER DISPENSER	BOBRICK B2690 SURFACE MTD	AD
B-253	2	COMBO PAPER TOWEL DISPENSER/TRASH RECEPT.	BOBRICK #B-3044 SEMI-RECESSED MTD (HAS 4" PROJECTION)	AD
B-300	2	GRAB BAR 1-1/2"DIA X 36" S.S. FIN.	BOBRICK #B6806X36 SURFACE MTD	AD
B-304	2	GRAB BAR 1-1/2"DIA X 48" S.S. FIN.	BOBRICK #B6806X48 SURFACE MTD	AD
B-310	2	GRAB BAR 1-1/2"DIA X 18" S.S. FIN.	BOBRICK #B6806X18 SURFACE MTD	AD

**RESTROOM ACCESSORY SCHEDULE**

**NOT USED** 3/8"=1'-0" **B**

**REMODEL IMAGE (RI)**

(1 RI) WALL TILE AS INDICATED, SEE GENERAL NOTES #8.

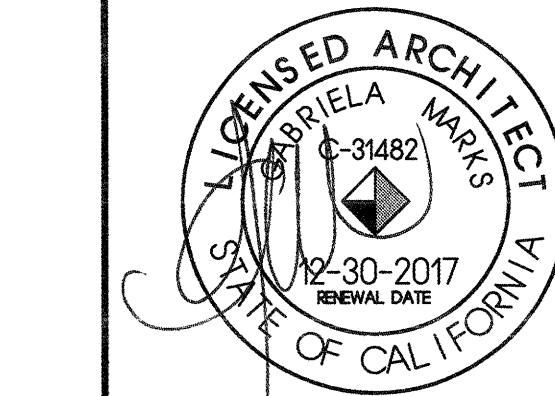
**ADA NOTES (AD)**

- (1 AD) INSTALL PIPE WRAP ON ALL EXPOSED DRAIN AND SUPPLY LINES.
- (2 AD) INSTALL FLUSH VALVE ON WIDE SIDE OF TOILET STALL.
- (3 AD) INSTALL CONTROL VALVE FOR AUTOMATIC FAUCET IN WALL. PROVIDE STAINLESS STEEL ACCESS PANEL.

**CUSTOMER TOUCH POINT (CT)**

- PROVIDE PROPER 2x BLOCKING AT WALL RECESSED MOUNTED ACCESSORIES.
- GRAB BARS, FASTENERS AND MOUNTING DEVICES SHALL BE INSTALLED PER ADA REQUIREMENTS. REFER TO SHEET ADA1.0.
- REFER TO FLOOR PLAN NOTES ON SHEET A1.0 FOR BLOCKING AND SUBSTRATE NOTES.
- LOCATE FLUSH HANDLE ON WIDE SIDE OF STALL.
- PROVIDE WALL TILE BEHIND ENTIRE MIRROR AREA TO ALIGN MOUNTING SURFACES.
- REFER TO ACCESSIBILITY CODES FOR MOUNTING HEIGHTS AND CLEARANCES OF ACCESSORIES AND FIXTURES.
- ALL DIMENSIONS THIS DRAWING ARE TO FINISH SURFACE.
- PROVIDE 5/8" CEMENTITIOUS BOARD SUBSTRATE FULL HEIGHT BEHIND ALL NEW TILED WALLS.
- PROVIDE 1/4" MAX GAP AT ALL TOILET PARTITION PANEL JOINTS.
- DENOTES FINISH MATERIAL. REFER TO SHEET A7.2 FOR FINISH SCHEDULE.
- DENOTES NEW TOILET ROOM ACCESSORIES.

**KEY NOTES**



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PRELIMINARY REVIEW 01.20.16  
BLDG. DEPT. SUBMITTAL 07.11.16

CITY OF SAN JOSE  
BUILDING DIVISION  
B.P.#  
DATE

TACO BELL  
1298 WINCHESTER BLVD.  
SAN JOSE, CA

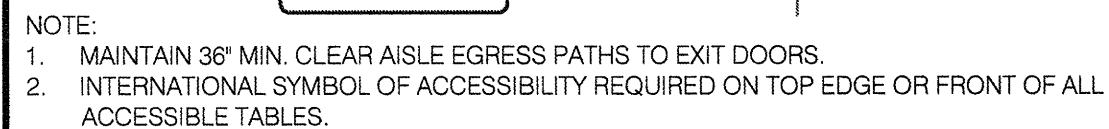


M70H  
EXPLORER  
REVERSE

**INTERIOR ELEV.  
ENLARGED  
RESTROOM**

**A8.1**



NUMBER OF ACCESSIBLE SEATS

- ## GENERAL NOTES



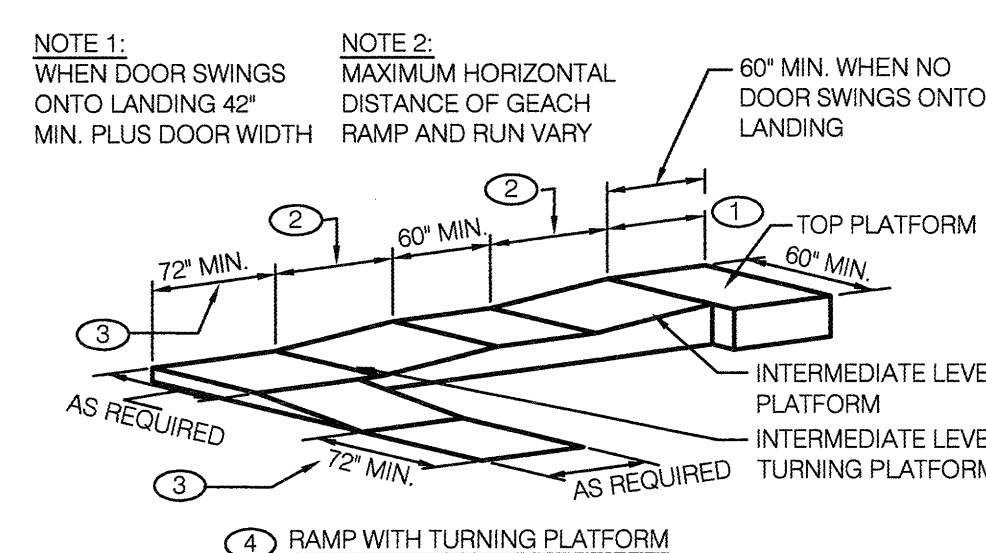
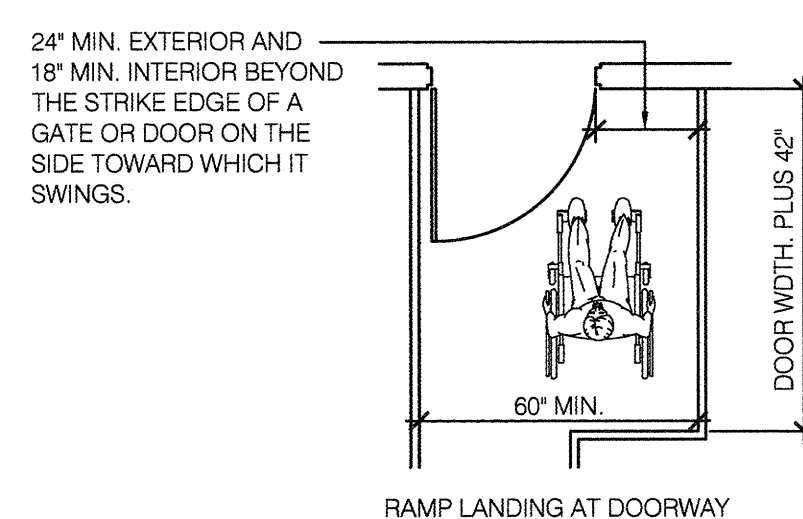
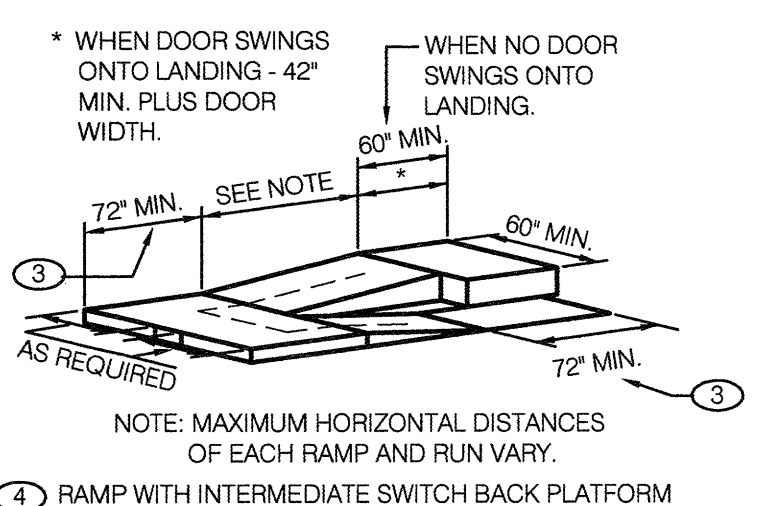


<b>TYP. ENTRANCE / EXIT DOOR</b>	N.T.S.	<b>17</b>
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<b>TRUNCATED DOMES</b>	N.T.S.	<b>18</b>
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## EXTERIOR DOOR REQUIREMENTS $1/2^{\circ} = 1'-0"$ 13

**BOTTOM RAIL (EXTERIOR DOOR)** 3" = 1'-0" **14**




<b>ACCESSIBLE PARKING SIGN</b>	N.T.S.	<b>12</b>
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SOUTH WINCHESTER BLVD.

NOTE: IF THERE IS NO PUBLIC CIRCULATION AROUND SITE, THEN NO "PATH OF TRAVEL" IS REQUIRED; ONLY PUBLIC RIGHT-AWAYS.

<b>ACCESSIBLE PARKING STALL</b>	N.T.S.	<b>3</b>
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<b>CURB RAMPS</b>	N.T.S.	<b>4</b>
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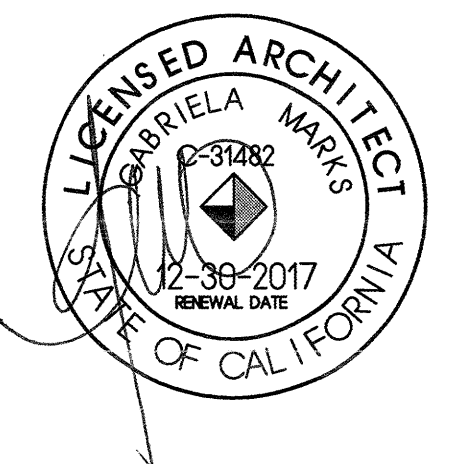


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PRELIMINARY REVIEW	01.20.16
BLDG. DEPT. SUBMITTAL	07.11.16
BLDG. DEPT. CORR	11.01.16

[illegible]

TACO BELL  
1298 WINCHESTER BLVD.  
SAN JOSE, CA



M70H  
EXPLORER  
REVERSE

## ACCESSIBILITY REQUIREMENTS

## ADA1.1



WOOD NOTES

1. SAWN WOOD MEMBERS SHALL BE DOUGLAS FIR-LARCH (UNO.), CONFORM TO THE "2013 CALIFORNIA BUILDING CODE" (CBC) SEC. 2303, AND SHALL BE GRADE MARKED BY AN ACCREDITATION BODY THAT COMPLIES WITH DOC P9 20 OR EQUIVALENT.
2. WOOD GRADES, UNO, SHALL BE AS FOLLOWS:
- | MEMBERS                           | GRADE              |
|-----------------------------------|--------------------|
| WALLS 2 X 4 (8'-0")               | 2                  |
| WALLS 2 X 4 (8'-1" TO 12'-0")     | 2                  |
| WALLS 2 X 6 (12'-0" TO 16'-0")    | 2                  |
| STRUCTURAL JOISTS AND PLANKS (2x) | 2                  |
| BEAMS AND STRINGERS (4x8 & WIDER) | 2                  |
| POSTS AND TIMBERS                 | 2                  |
| TOP PLATE & BOTTOM PLATE          | MATCH WALL MEMBERS |
3. ALL WOOD THAT REST ON EXTERIOR FOUNDATION WALLS AND ARE LESS THAN 8" FROM EXPOSED EARTH, ALL WOOD ATTACHED DIRECTLY TO INTERIOR OR EXTERIOR MASONRY OR CONCRETE WALLS BELOW GRADE, AND ALL WOOD SLEEPERS AND SILLIS ON CONCRETE THAT IS IN DIRECT CONTACT WITH EARTH SHALL BE PRESERVATIVE-TREATED DOUGLAS FIR.
4. ALL SILLIS OR PLATES BEARING ON CONCRETE OR MASONRY SHALL HAVE ANCHOR BOLTS:
- A. NOT LESS THAN 3/8" Ø.
- B. EMBEDDED AT LEAST 1" INTO CONCRETE OR MASONRY.
- C. SPACED NOT MORE THAN 6" APART.
- D. PLACED A MIN. OF 5" AND A MAX. OF 12" FROM EACH END.
- E. A MINIMUM OF TWO BOLTS PER PIECE.
- F. SIZE AND SPACED AS SHOWN ON THE DRAWINGS.
5. WOOD STRUCTURAL PANELS SHALL CONFORM TO THE "2013 CALIFORNIA BUILDING CODE" (CBC) SEC. 2303, AND SHALL CONFORM TO THE REQUIREMENTS FOR THEIR TYPE IN DOC P9 1 OR P92. EACH PANEL SHALL BE IDENTIFIED FOR GRADE AND GLUE TYPE BY THE TRADEMARK OF AN APPROVED TESTING AND GRADING AGENCY. WOOD STRUCTURAL PANELS THAT ARE PERMANENTLY EXPOSED IN OUTDOOR APPLICATIONS SHALL BE OF EXTERIOR TYPE (UNO.). ALL WOOD STRUCTURAL PANELS SHALL BE OF THE FOLLOWING GRADES AND PANEL IDENTIFICATION INDEXES (UNO. ON DRAWINGS):
- | USE             | GRADE      | IDENTIFICATION INDEX |
|-----------------|------------|----------------------|
| ROOF SHEATHING  | CDX        | 24/0                 |
| FLOOR SHEATHING | APA        | 48/24                |
| SHEAR PANELS    | CDX (UNO.) | 24/0                 |
6. GLU TIMBERS SHALL BE MANUFACTURED AND IDENTIFIED AS REQUIRED IN AITC A1901 AND AITC D 3131, USING DOUGLAS FIR INDUSTRIAL APPEARANCE GRADE WOOD AND EXTERIOR GLUE WITH INTENDED DRY USE CONDITION AND USE SHALL BE AS FOLLOWS:
- | COMBINATION NO. | USE         |
|-----------------|-------------|
| 24F-V4          | SIMPLE SPAN |
| 24F-V8          | CANTILEVERS |
7. FRAMING ANCHORS, POST CAPS, COLUMN BASES, AND OTHER CONNECTORS SPECIFIED ON DRAWINGS SHALL BE AS MANUFACTURED BY "SIMPSON COMPANY" OR AN ENGINEER-APPROVED EQUAL.
8. BARB, PLATES, UNHEADED BOLTS, WASHERS AND DRIFT BOLTS SHALL CONFORM TO THE REQUIREMENTS OF ASTM A36.
9. BOLTS SHALL CONFORM TO ASTM A307. BOLTS IN PRESSURE TREATED WOOD SHALL BE HOT DIPPE ZINC-COATED GALVANIZED STEEL PER ASTM A 193 OR MECHANICALLY DEPOSITED ZINC COATING WITH WEIGHTS PER ASTM B 695, CLASS 55.
10. NUTS SHALL CONFORM TO THE REQUIREMENTS OF ASTM A563, GRADE A.
11. ALL BOLT HEADS, NUTS, AND LAG SCREWS BEARING ON WOOD SHALL HAVE CUT WASHERS UNLESS NOTED.
12. BOLT HOLES SHALL BE DRILLED A MAXIMUM OF 1/16" LARGER THAN THE NOMINAL BOLT DIAMETER. BOLT HOLES SHALL BE ACCURATELY ALIGNED AND NOT FORCIBLY DRIVEN.
13. SPECIAL CONNECTORS FOR CONNECTING WOOD OR GLUED LAMINATED TIMBER SHALL BE FABRICATED FROM STEEL CONFORMING TO ASTM A36. WELDS SHALL CONFORM TO THE REQUIREMENTS OF AWS D11.05.
14. DIAPHRAGM NAILING SHALL CONFORM TO CBC TABLE 2306.3.1 AND 2306.3.2, AND TABLE 2306.4.1 AND 2306.4.3 WITH NOMENCLATURE DEFINED AS FOLLOWS:
- BN = NAILING AT DIAPHRAGM BOUNDARIES, CONTINUOUS PANEL EDGES, AND AT EDGES OF OPENING.
- EN = EDGE NAILING
- FN = FIELD NAILING
15. WHERE DIAPHRAGM BLOCKING IS SPECIFIED, USE 2 X 4 FLAT BLOCKING (WITH "Z" CLIPS). (UNO.)
16. SIMPLE SPAN WOOD MEMBERS, NOT SHOP CAMBERED, SHALL BE ERECTED WITH THE NATURAL CAMBER UP. FOR CANTILEVERED WOOD MEMBERS, CONSULT WITH ENGINEER.
17. LEAD HOLES FOR LAG SCREWS IN WOOD SHALL BE BORED AS FOLLOWS: FOR SHANK, SAME DIAMETER AND LENGTH AS UNTHREADED SHANK. FOR THREADED PORTION: 60% TO 75% OF SHANK DIAMETER & LENGTH EQUAL TO THE THREADED PORTION.
18. SPECIAL PROVISIONS FOR SHEAR WALLS WITH PLYWOOD ON BOTH SIDES: WHERE SPECIFICALLY INDICATED ON PLANS
- A. SILL PLATE SHALL BE 3x6 P.T. D.F.
- B. ALL STUDS AND BLOCKING AT PANEL EDGES SHALL BE 4x6.
- C. ALL OTHER INTERMEDIATE STUDS SHALL BE 3x6 @ 16" O.C.
- D. END POSTS SHALL BE AS SPECIFIED ON THE DRAWINGS.
- E. BOTH VERTICAL AND HORIZONTAL INTERIOR PANEL JOINTS ON OPPOSITE SIDES OF THE WALL SHALL BE STAGGERED.
- F. THE PLYWOOD ON ONE SIDE MUST BE NAILED BEFORE THE FRAME INSPECTION. THE PLYWOOD ON THE OTHER SIDE MUST BE INSTALLED AND INSPECTED PRIOR TO INSTALLATION OF WALL SURFACE COVERING.
- G. NO PENETRATIONS OR NOTCHES ARE PERMITTED OTHER THAN THOSE SHOWN ON THE STRUCTURAL DRAWINGS.
19. PROVIDE DOUBLE STUD TO SUPPORT ALL BEAMS UNLESS POSTS ARE SPECIFIED.
20. DOUBLE BLOCK UNDER ALL POSTS.
21. DOUBLE JOIST UNDER ALL PARALLEL PARTITIONS UNLESS OTHERWISE SPECIFIED.
22. TOP PLATES OF ALL WOOD STUD WALLS SHALL BE 2-2 X (SAME WIDTH AS STUDS), LAP 48" (MIN.) WITH AT LEAST 12-16d NAILS AT EACH SIDE OF LAP AND NOT MORE THAN 12" BETWEEN.

23. CUTTING, NOTCHING, OR DRILLING OF BEAMS OR JOISTS SHALL BE PERMITTED ONLY AS DETAILED OR APPROVED BY THE ENGINEER.
24. MOISTURE CONTENT OF WOOD AT TIME OF PLACEMENT SHALL NOT EXCEED 19%.
25. PROVIDE ST6224 STRAPS ACROSS ALL DISCONTINUOUS TOP PLATES.
26. THE NUMBER AND SIZE OF FASTENERS CONNECTING WOOD MEMBERS SHALL NOT BE LESS THAN THE FOLLOWING TABLE.
27. ALL NEW FRAMING LUMBER SHALL HAVE A 19% MAXIMUM MOISTURE CONTENT AT THE TIME OF INSTALLATION AND FABRICATION.
28. FASTENERS FOR PRESERVATIVE TREATED AND FIRE TREATED WOOD SHALL BE OF HOT DIPPE ZINC COATED GALVANIZED STEEL, STAINLESS STEEL, SILICON BRONZE, OR COPPER. THE COATING WEIGHTS FOR ZINC COATED FASTENERS SHALL BE IN ACCORDANCE WITH ASTM A 153.
29. CUTTING, NOTCHING, OR DRILLING OF BEAMS OR JOISTS SHALL BE PERMITTED ONLY AS DETAILED OR APPROVED BY THE ENGINEER.
30. MOISTURE CONTENT OF WOOD AT TIME OF PLACEMENT SHALL NOT EXCEED 19%.
31. PROVIDE ST6224 STRAPS ACROSS ALL DISCONTINUOUS TOP PLATES.
32. THE NUMBER AND SIZE OF FASTENERS CONNECTING WOOD MEMBERS SHALL NOT BE LESS THAN THE FOLLOWING TABLE.
33. ALL NEW FRAMING LUMBER SHALL HAVE A 19% MAXIMUM MOISTURE CONTENT AT THE TIME OF INSTALLATION AND FABRICATION.
34. FASTENERS FOR PRESERVATIVE TREATED AND FIRE TREATED WOOD SHALL BE OF HOT DIPPE ZINC COATED GALVANIZED STEEL, STAINLESS STEEL, SILICON BRONZE, OR COPPER. THE COATING WEIGHTS FOR ZINC COATED FASTENERS SHALL BE IN ACCORDANCE WITH ASTM A 153.
35. NAILING SCHEDULE (2013 CBC TABLE 2304.3.1)
- | JOIST TO SILL OR GIRDER TOENAIL   | 3-8d   |
|---|--|
| BLK'G TO JOIST, TOENAIL EACH END  | 2-8d   |
| 1" x 6" SUBFLOOR (OR SMALLER) TO EACH JOIST, FACE NAIL                                  | 2-8d   |
| WIDER THAN 1" x 6" SUBFLOOR TO EACH JOIST, FACE NAIL                                    | 3-8d   |
| 2" SUBFLOOR TO JOIST OR GIRDER, BLIND & FACE NAIL                                       | 2-16d  |
| SOLE PLATE TO JOIST OR BLK'G, TYP. FACE NAIL  | 16d @ 16" O.C.   |
| SOLE PLATE TO JOIST OR BLK'G @ BRACED WALL PANELS                                       | 3-16d PER 16"  |
| TOP PLATE TO STUD, END NAIL   | 2-16d  |
| STUD TO SOLE PLATE, TOENAIL   | 2-8d   |
| OR END NAIL   | 2-16d  |
| DOUBLE STUDS, FACE NAIL   | 16d @ 24" O.C.   |
| DOUBLE TOP PLATES, TYP. FACE NAIL   | 16d @ 16" O.C.   |
| DOUBLE TOP PLATES, LAP SPICE  | 8-16d  |
| BLK'G BETWEEN JOISTS OR RAFTERS TO TOP PLATE, TOENAIL                                   | 3-8d   |
| RIM JOIST TO TOP PLATE, TOENAIL   | 8d @ 6" O.C.   |
| TOP PLATES, LAP @ INTERSECTIONS, FACE NAIL  | 2-16d  |
| CONTINUOUS HEADER, TWO PIECES   | 16d @ 16" O.C.   |
| ALONG EACH EDGE   | 3-8d   |
| CEILING JOISTS TO PLATE, TOENAIL  | 4-8d   |
| CONTINUOUS HEADER TO STUD, TOENAIL  | 3-16d  |
| CEILING JOISTS, LAPS OVER PARTITIONS, FACE NAIL   | 3-16d  |
| CEILING JOISTS TO PARALLEL RAFTERS, FACE NAIL   | 3-8d   |
| RAFTER TO PLATE, TOENAIL  | 2-8d   |
| 1" BRACE TO EACH STUD & PLATE, FACE NAIL  | 3-8d   |
| 1" x 8" SHEATHING (OR SMALLER) TO EACH BEARING, FACE NAIL                               | 3-8d   |
| WIDER THAN 1" x 8" SHEATHING TO EACH BEARING, FACE NAIL                                 | 3-8d   |
| BUILT-UP CORNER STUDS   | 16d @ 24" O.C.   |
| BUILT-UP GIRDERS & BEAMS  | 20d @ 30" O.C.   |
| TOP & BOT. & STAGGERED  | 2-20d  |
| ENDS & EACH SPICE   | 2-16d  |
| 2" PLANKS TO EACH BEARING   | 2-16d  |
| COLLAR TIE TO RAFTER, FACENAIL  | 3-10d  |
| JACK RAFTER TO HIP, TOENAIL   | 3-10d  |
| OR FACENAIL   | 2-16d  |
| ROOF RAFTER TO 2-BY RIDGE BEAM, TOENAIL   | 2-16d  |
| OR FACENAIL   | 2-16d  |
| JOIST TO BAND JOIST, FACENAIL   | 3-16d  |
| LEDGER STRIP, FACENAIL  | 3-16d  |
| WOOD STRUCTURAL PANELS AND PARTICLEBOARD SUBFLOOR, ROOF AND WALL SHEATHING (TO FRAMING) | 1/2" AND LESS, 6d<br>3/8" TO 1", 8d<br>1 1/8" TO 1 1/4", 10d   |
| SINGLE FLOOR (COMBINATION SUBFLOOR-UNDERLAYMENT TO FRAMING)                             | 3/4" AND LESS, 6d<br>1 1/8" TO 1", 8d<br>1 1/8" TO 1 1/4", 10d |
| PANEL SIDING (TO FRAMING)   | 1/2" AND LESS, 6d<br>3/8", 8d                                  |
| FIBERBOARD SHEATHING  | 1/2", 6d<br>3/8", 8d   |
| INTERIOR PANELING, CASING   | 1/4", 4d<br>3/8", 6d   |
35. ALL NAILS TO BE COMMON. ALL NAILS IN PRESSURE TREATED WOOD SHALL BE HOT DIPPE ZINC-COATED GALVANIZED STEEL PER ASTM A 153.
36. WHENEVER POSSIBLE NAILS DRIVEN PERPENDICULAR TO THE GRAIN SHALL BE USED INSTEAD OF TOENAILS.
37. DIAPHRAGM SHEATHING NAILS OR OTHER APPROVED SHEATHING CONNECTORS SHALL BE DRIVEN SO THAT THEIR HEAD OR CROWN IS FLUSH WITH THE SURFACE OF THE SHEATHING.

GENERAL NOTES

1. ALL CONSTRUCTION, INCLUDING MATERIAL AND WORKMANSHIP, SHALL CONFORM TO THE PROVISIONS OF THE 2013 EDITION OF THE "CALIFORNIA BUILDING CODE" (CBC) WITH THE GOVERNING AGENCY AMENDMENTS, AND STANDARDS REFERENCED THEREIN. WHEREVER CODE OR CALIFORNIA BUILDING CODE (CBC) IS REFERENCED IN THE FOLLOWING GENERAL NOTES OR OTHER NOTE SECTIONS, IT SHALL IMPLY THE CBC CODE WITH GOVERNING AGENCY AMENDMENTS.
2. ALL ASTM STANDARDS LISTED HEREIN, SHALL BE AS REFERENCED IN THE LATEST ISSUE OF THE ANNUAL BOOK OF STANDARDS OF THE AMERICAN SOCIETY FOR TESTING AND MATERIALS.
3. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS AND SITE CONDITIONS BEFORE STARTING WORK. THE DESIGNER AND STRUCTURAL ENGINEER SHALL IMMEDIATELY BE NOTIFIED, IN WRITING, OF ANY DISCREPANCIES.
4. ALL OMISSIONS AND/OR CONFLICTS BETWEEN THE VARIOUS ELEMENTS OF THE WORKING DRAWINGS AND SPECIFICATIONS SHALL BE BROUGHT TO THE ATTENTION OF THE FIELD INSPECTOR, AND A SOLUTION GIVEN BY THE DESIGNER AND STRUCTURAL ENGINEER PRIOR TO PROCEEDING WITH ANY WORK AFFECTED BY THE CONFLICT OR OMISSION.
5. IN CASE OF CONFLICT, NOTES AND DETAILS OF THESE STRUCTURAL DRAWINGS SHALL TAKE PRECEDENCE OVER THE "GENERAL NOTES" AND/OR "STANDARD DETAILS". TYPICAL DETAILS SHALL BE USED WHENEVER APPLICABLE.
6. IF A SPECIFIC DETAIL IS NOT SHOWN FOR ANY PART OF THE WORK, THE CONSTRUCTION SHALL BE THE SAME AS FOR SIMILAR WORK.
7. WORKING DIMENSIONS SHALL NOT BE SCALED FROM PLANS, SECTIONS OR DETAILS ON THESE STRUCTURAL DRAWINGS.
8. THE CONTRACTOR SHALL PROVIDE AND MAINTAIN ADEQUATE ERECTION SHORING AND BRACING AS REQUIRED FOR STABILITY OF THE STRUCTURE DURING ALL PHASES OF CONSTRUCTION. THESE DRAWINGS REPRESENT THE FINISHED STRUCTURE AND DO NOT INDICATE THE METHOD OF CONSTRUCTION.
9. PIPES, DUCTS, SLEEVES, OPENINGS, POCKETS, CHASES, BLOCK-OUTS, ETC., SHALL NOT BE PLACED IN SLABS, BEAMS, GIRDERS, COLUMNS, WALLS, FOUNDATIONS, ETC., NOR SHALL ANY STRUCTURAL MEMBER BE CUT FOR SUCH ITEMS, UNLESS SPECIFICALLY DETAILED ON THESE STRUCTURAL DRAWINGS. (IF ANY PIPES, DUCTS, ETC., DO OCCUR THAT ARE NOT SHOWN ON THESE STRUCTURAL DRAWINGS, THE DESIGNER AND STRUCTURAL ENGINEER SHALL BE NOTIFIED.) SEE PARAGRAPH 4, ABOVE.
10. ANCHOR BOLTS OR INSERTS FOR EQUIPMENT ANCHORAGE OR INSTALLATION SHALL BE DESIGNED FOR SEISMIC DESIGN CATEGORY D BY A CIVIL ENGINEER OR STRUCTURAL ENGINEER REGISTERED IN THE STATE OF CALIFORNIA AND SHALL BE SHOWN ON THE MECHANICAL OR ELECTRICAL SHOP DRAWINGS.
11. THE CONTRACTOR SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THIS REQUIREMENT SHALL APPLY CONTINUOUSLY, AND NOT BE LIMITED TO NORMAL WORKING HOURS. THE CONTRACTOR SHALL DEFEND, INDEMNIFY, AND HOLD THE STRUCTURAL ENGINEER FREE AND HARMLESS FROM ALL CLAIMS, DEMANDS AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPT FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE STRUCTURAL ENGINEER.
12. IF ANY SUBSTITUTION IS PROPOSED BY THE CONTRACTOR, NEW CALCULATIONS MAY HAVE TO BE PREPARED, THE DETAILS MAY HAVE TO BE ALTERED, AND NEW DRAWINGS MAY HAVE TO BE SUBMITTED TO THE BUILDING DEPARTMENT. THE CONTRACTOR SHALL PAY THE STRUCTURAL ENGINEER'S FEES TO ALTER THE APPROVED PLANS. THE CONTRACTOR SHALL ALSO PROCESS THE REVISED PLANS REFLECTING ALL SUBSTITUTIONS THROUGH THE APPROPRIATE OFFICE OF ALL GOVERNING AGENCIES.

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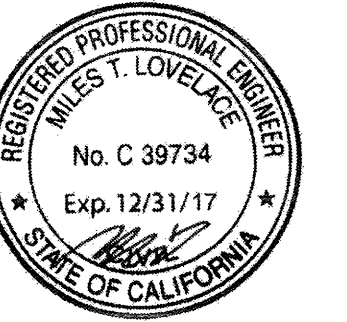
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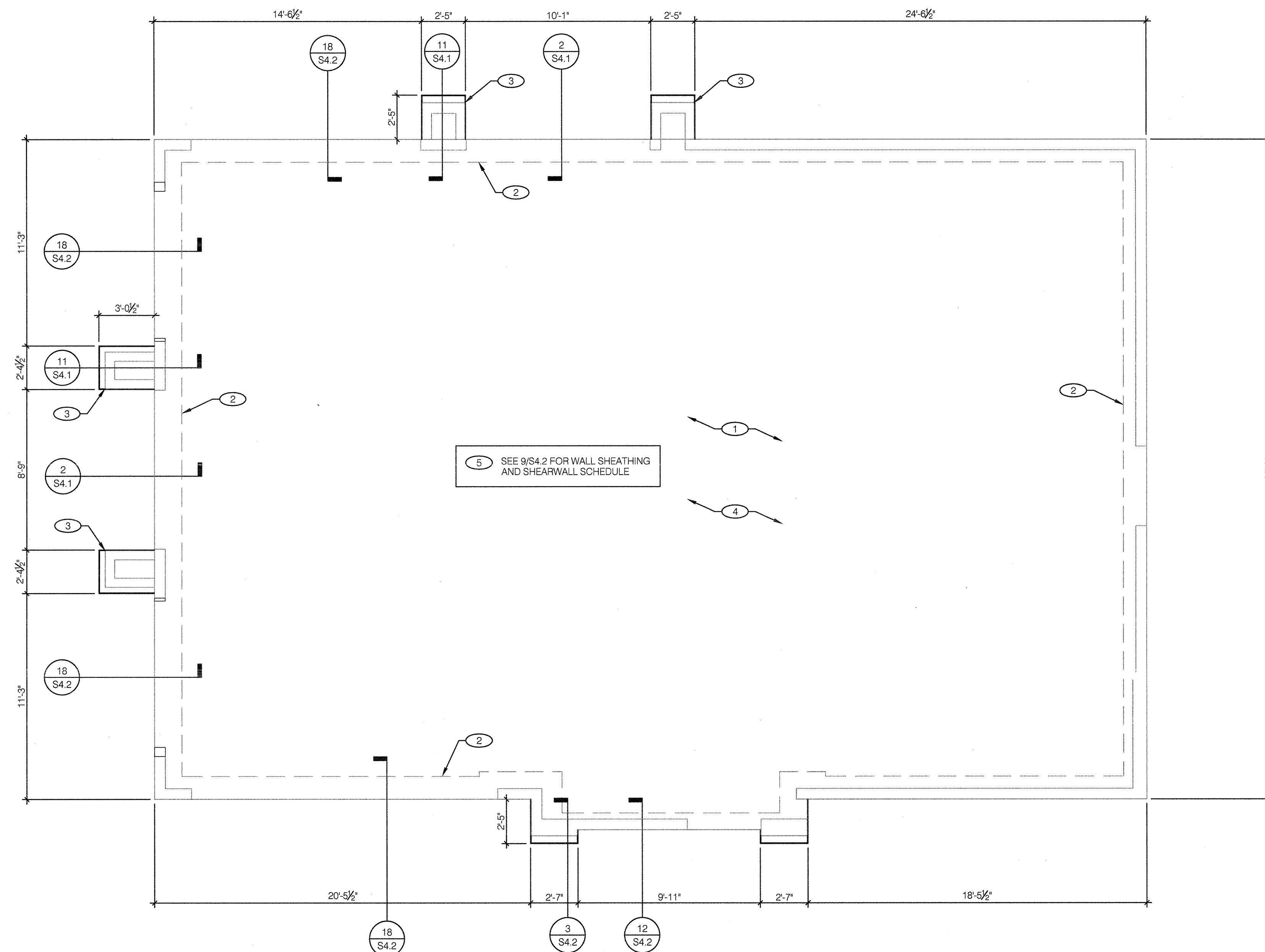


M70H  
EXPLORER  
REVERSE

GENERAL  
NOTES

S0.0



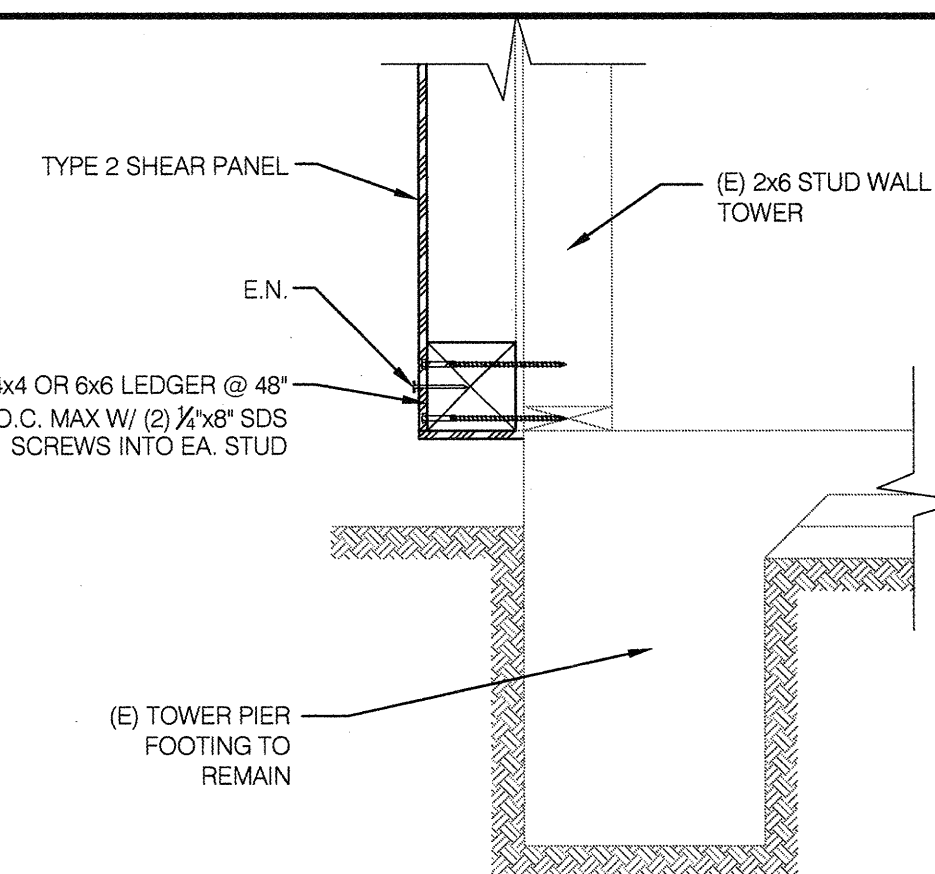


FLOOR PLAN 1/4"=1'-0" A

- MISCELLANEOUS:
- A. DIMENSIONS NOTED ARE TO FACE OF CONCRETE. REFER TO DWG. A1.0 FOR DIMENSIONS TO FACE OF STUD AND OTHER DIMENSIONS NOT OTHERWISE NOTED.
- B. DRAWINGS SHALL NOT BE SCALED. ALL DIMENSIONS AND FIT SHALL BE DETERMINED AND VERIFIED BY THE CONTRACTOR PRIOR TO COMMENCEMENT OF WORK.
- C. DETAILS NOT FULLY OR SPECIFICALLY SHOWN SHALL BE OF SAME NATURE AS OTHER SIMILAR CONDITIONS.
- D. COORD. FOUNDATION AND SLAB LAYOUT WITH OTHER TRADES PRIOR TO POURING SLAB.
- CONCRETE:
- A. CONCRETE SHALL BE HARD ROCK CONC. (5 SACK CEMENT PER CU.YD. MIN.) AND MEET THE FOLLOWING MIN. ULTIMATE COMPRESSIVE STRENGTHS AT 28 DAYS:
- | LOCATION      | MIN. STRENGTH<br>28 DAYS PSI | AGGREGATE<br>SIZE - INCHES | SLUMP<br>INCHES | TOLERANCE |
|---------------|------------------------------|----------------------------|-----------------|-----------|
| SLAB ON GRADE | (2500 DESIGN)                | 1" x #4                    | 3-1/2"          | ±1/2"     |
| FOUNDATIONS   | (2500 DESIGN)                | 1" x #4                    | 3-1/2"          | ±1/2"     |
- B. CONCRETE MIX DESIGN AND TESTING SHALL MEET WITH THESE SPECS. CEMENT SHALL BE IN ACCORDANCE WITH ASTM C 150 TYPE II. VERIFY MIN. CONC. STRENGTH AND CEMENT TYPE.
- C. REINFORCING STEEL SHALL CONFORM TO ASTM A-615, GRADE 60. STEEL SHALL BE KEPT CLEAN AND FREE OF RUST.
- D. CONCRETE CURING SHALL BE IN ACCORDANCE WITH REQUIREMENTS OF ACI-318-95 SECTION 5.11 AND STANDARD PRACTICE FOR CURING CONCRETE REPORTED BY COMMITTEE 308.
- E. ANCHOR BOLTS - A36 OR A307, USE 5/8" DIAMETER x 12" (18" AT CURBS) ANCHOR BOLTS (A.B.) AT 16" O.C. U.O.N. ANCHOR BOLTS SHALL BE TIED IN PLACE PRIOR TO PLACEMENT OF CONC.

- FASTENERS:
- A. FASTENERS INCLUDING NUTS AND WASHERS FOR PRESERVATIVE TREATED AND FIRE TREATED WOOD SHALL BE OF HOT DIPPED ZINC COATED GALVANIZED STEEL. STAINLESS STEEL, SILICON BRONZE OR COPPER. THE COATING WEIGHTS FOR ZINC COATED FASTENERS SHALL BE IN ACCORDANCE WITH ASTM A 153.
- DESIGN CRITERIA:
- 2013 CALIFORNIA BUILDING CODE
- ROOF LOADS:
- LIVE LOAD: 20 PSF
- DEAD LOAD: 15 PSF
- PROVIDE SHOP DRAWINGS AND CALCULATIONS BY REGISTERED ENGINEER FOR SIGNS, CANOPIES, AND AWNINGS.

FOUNDATION NOTES D



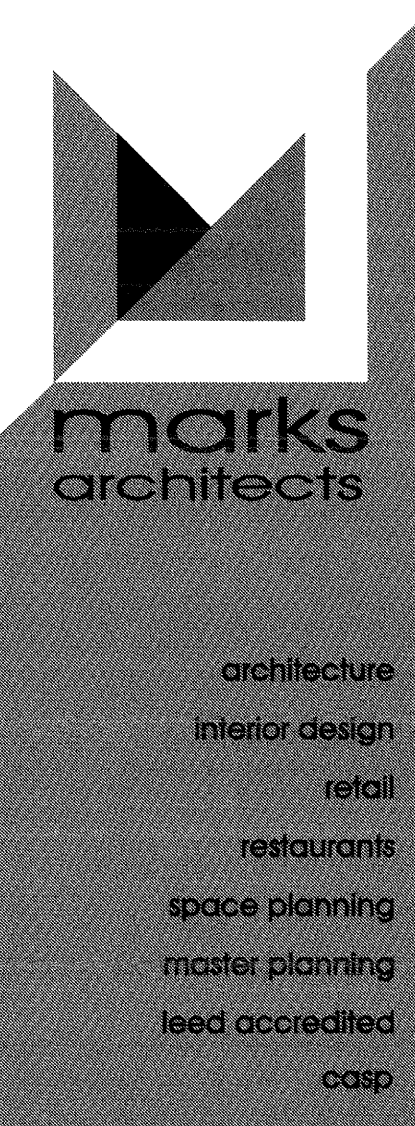
(E) FOOTING DETAIL 3/4" = 1'-0" C

- 1 EXISTING 4" THICK SLAB.
- 2 EXISTING 15" WIDE x 18" DEEP CONTINUOUS FOOTING W/ (2) # 5 BARS TOP & BOTTOM
- 3 EXISTING TOWER FOOTING TO REMAIN. SEE DETAIL C/S1.0.
- 4 SEE DETAILS 19/S4.1 AND 20/S4.1 FOR NON-BEARING WALL CONNECTIONS
- 5 SEE 12/S4.1 FOR WALL SHEATHING AND SHEARWALL SCHEDULE

KEY NOTES B

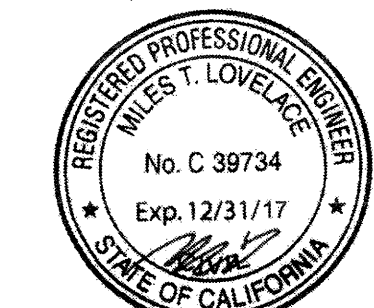
STRUCTURAL  
PLAN

S1.0



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M70H  
EXPLORER  
REVERSE



17

18

19

20

(E) 2x6 STUD WALL  
@ TOWER LEG

11

16

CANOPY AND CONNECTION BY  
VENDOR, SEE DETAIL 4/S4.1

1/2" EXT. GRADE SHEATHING  
2x6 @ 16" O.C. W/ 'HU' EA. END  
2x6 LEDGER W/ 1/4"x4 1/2" SDS -  
SCREWS @ 8" O.C.  
STAGGERED  
PROVIDE TEMPORARY -  
SHORING UNTIL NEW BEAM  
IS INSTALLED

2

7

3

SIMPSON A35 TOP AND  
BOTTOM AT EACH END OF  
BLOCKING

2x BLOCKING FOR CANOPY  
ATTACHMENT TYP.

16d NAILS @ 16"o.c.  
(STAGGERED)  
(EA. FACE.)

CL ——— -

CENTERLINE OF CANOPY  
ATTACHMENT,  
CONNECTION BY VENDOR

BEAM PER TOWER SECTION -

BEAM PER TOWER SECTION

16d NAILS @ 16"o.c.  
(STAGGERED)  
(EA. FACE.)

CL ———

CENTERLINE OF CANOPY  
ATTACHMENT  
CONNECTION BY VENDOR

2x BLOCKING FOR CANOPY  
ATTACHMENT TYPE

16d NAILS @ 16" o.c.  
(STAGGERED)  
(EA. FACE.  
C\_\_\_\_\_

CENTERLINE OF CANOPY  
ATTACHMENT  
CONNECTION BY VENDOR

SIMPSON A35 TOP AND  
BOTTOM AT EACH END OF  
BLOCKING

 $\left. \begin{array}{l} 1-0^{\text{th}} \end{array} \right\}$ 



MARK DESCRIPTION  
E.N. EDGE NAILING  
B.N. BOUNDARY NAILING  
F.N. FIELD NAILING

REFER TO WALL SHEATHING SCHEDULE 9/S4.2 FOR NAILING REQUIREMENTS

SW	SHEATHING	EDGE	FIELD	PLATE / ANCHOR BOLT	REMARKS
▶	1/2" CDX STRUC II PLYWD (32/16)	10d @ 4" O.C.	10d @ 12" O.C.	5/8" DIA. @ 32" O.C.	
▶	1/2" CDX STRUC II PLYWD (32/16)	10d @ 6" O.C.	10d @ 12" O.C.	5/8" DIA. @ 32" O.C.	
***	1/2" CDX PLYWD (32/16), PS1 RATING	10d @ 6" O.C.	10d @ 12" O.C.	5/8" DIA. A307 (12x3) @ 32" O.C. W/ WASHER	NAILING @ HEADERS PER DETAILS

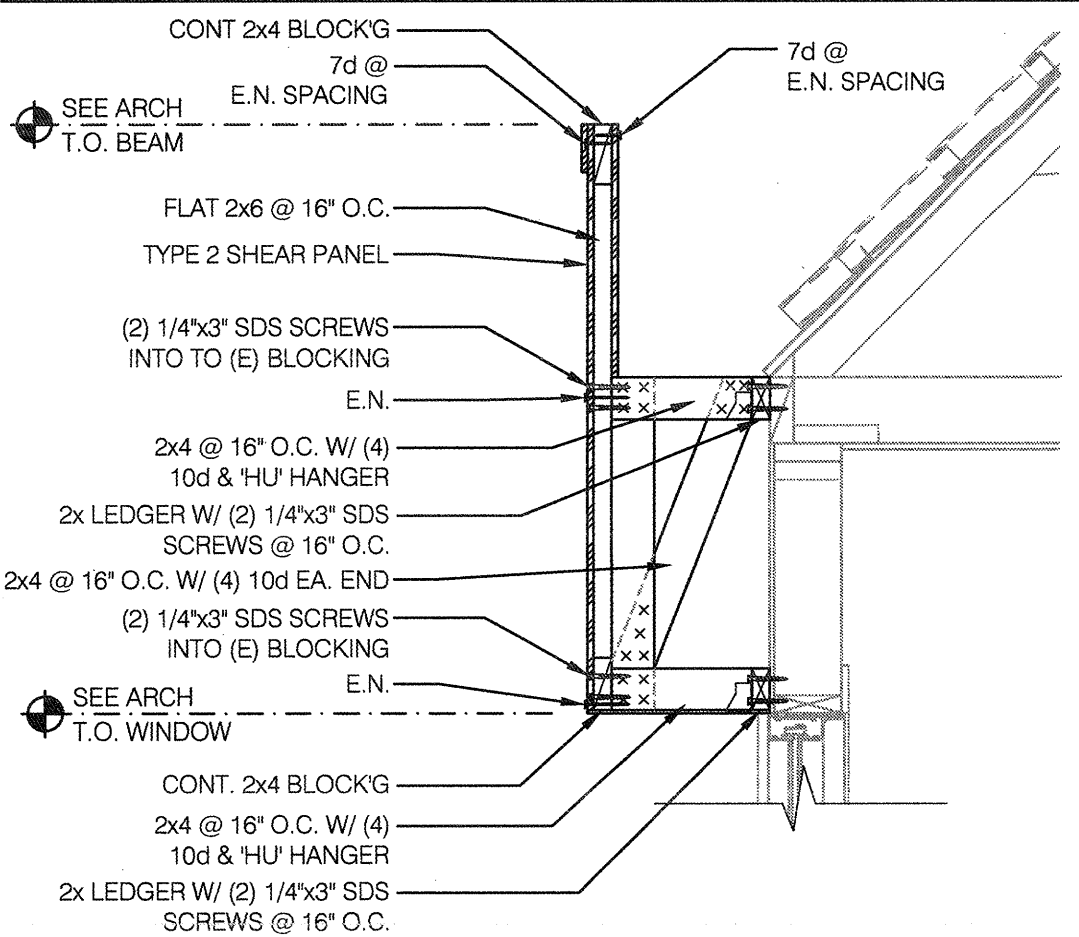
\*\*\* REQUIREMENTS FOR EXTERIOR NON-SHEARWALL WALLS

- OSB OF COMPARABLE THICKNESS MAY BE USED IN LIEU OF PLYWOOD WHEN APPROVED IN WRITING BY THE PROJECT ENGINEER AND THE LOCAL JURISDICTION.
- BLOCK ALL UNSUPPORTED EDGES WITH 2x MATERIAL U.O.N. BLOCK EDGES WITH 3x MATERIAL WHERE 10d NAILING IS 3" O.C. OR LESS AND 8d NAILING IS 2" O.C. OR LESS. ALL PLYWOOD NAILS SHALL BE COMMON WIRE. SEE SPECIFICATIONS FOR OTHER NAIL REQUIREMENTS.
- EXTERIOR WALLS NOT DESIGNATED AS SHEARWALLS IN THE WALL FRAMING PLAN SHALL MEET REQUIREMENTS INDICATED FOR NON-SHEARWALL WALLS IN THE SCHEDULE ABOVE.
- SHEARWALL LENGTHS WHERE NOTED ARE MINIMUM. DO NOT LOCATE HOLDDOWNS FROM THESE DIMENSIONS. SEE ARCH DWGS FOR ACTUAL WALL LENGTHS.
- HD REFERS TO SIMPSON STRONGTIE CO. HOLDDOWNS. INSTALL PER 16S4.0. POST WIDTH SHALL MATCH STUD WALL WIDTH. SEE FOUNDATION PLAN FOR OTHER REQ'S.
- EDGE NAIL WALL PLY TO STUDS OR POSTS WITH HOLD-DOWNS.
- WHERE PANELS ARE APPLIED TO BOTH FACES OF A WALL AND NAIL SPACING IS LESS THAN 6" O.C. ON EITHER SIDE, PANEL JOINTS SHALL BE OFFSET TO WALL ON DIFFERENT FRAMING MEMBERS OR FRAMING SHALL BE 3x OR THICKER AND NAILS ON EACH SIDE SHALL BE STAGGERED.

#### WALL SHEATHING AND SHEARWALL SCHEDULE

9

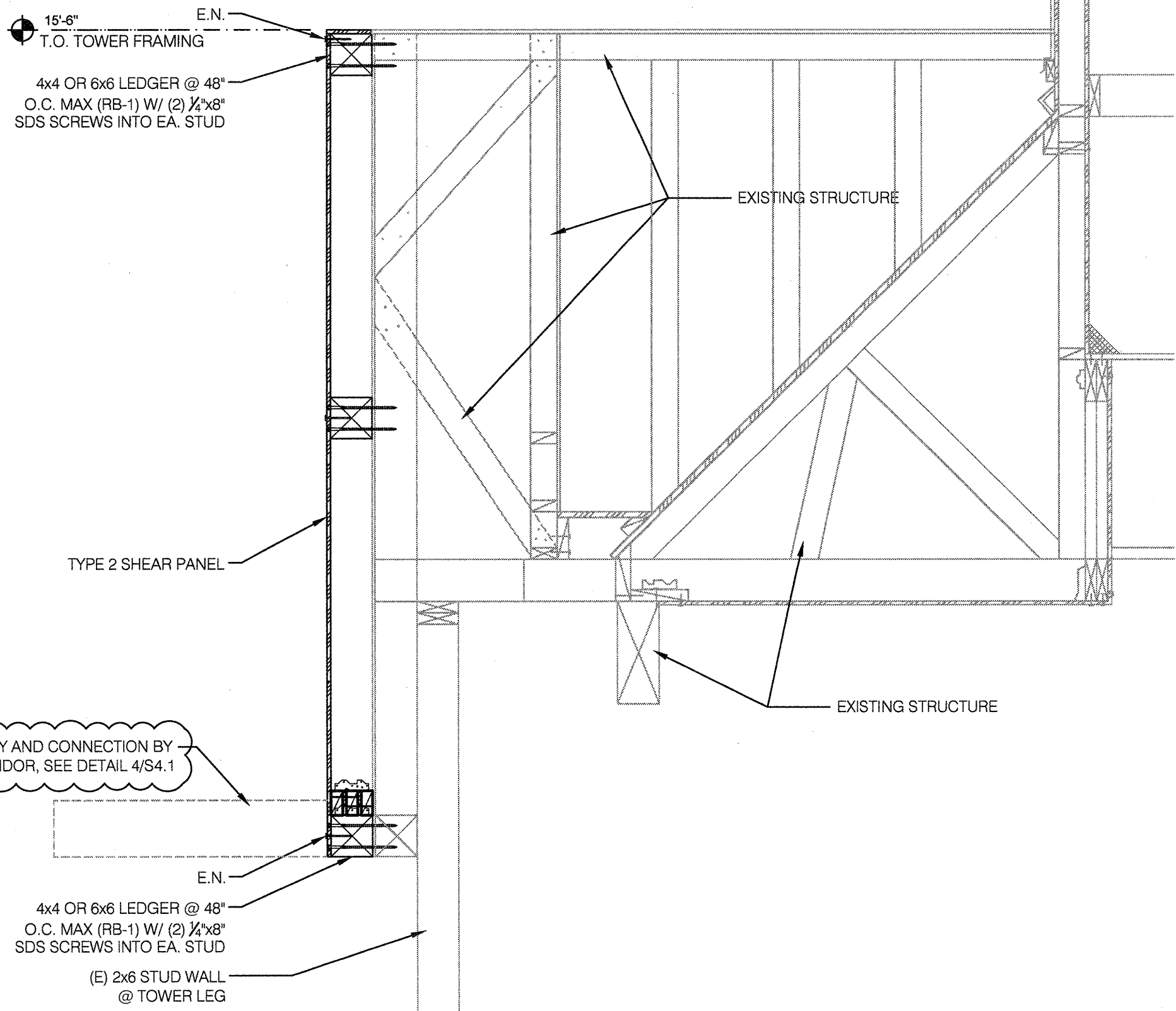
#### LEGEND N.T.S. 17



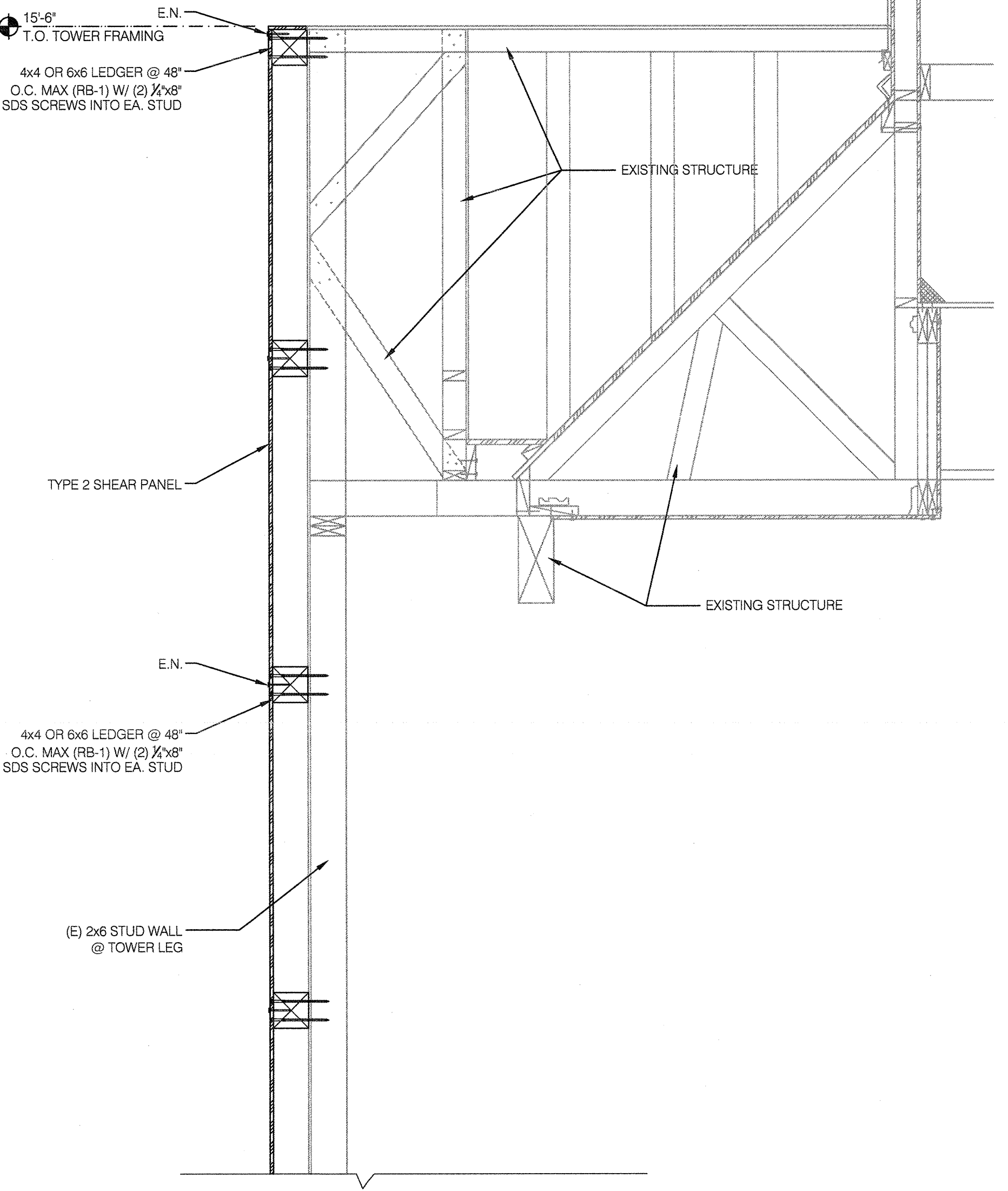
#### BEAM DETAIL 3/4" = 1'-0" 18

#### NOT USED

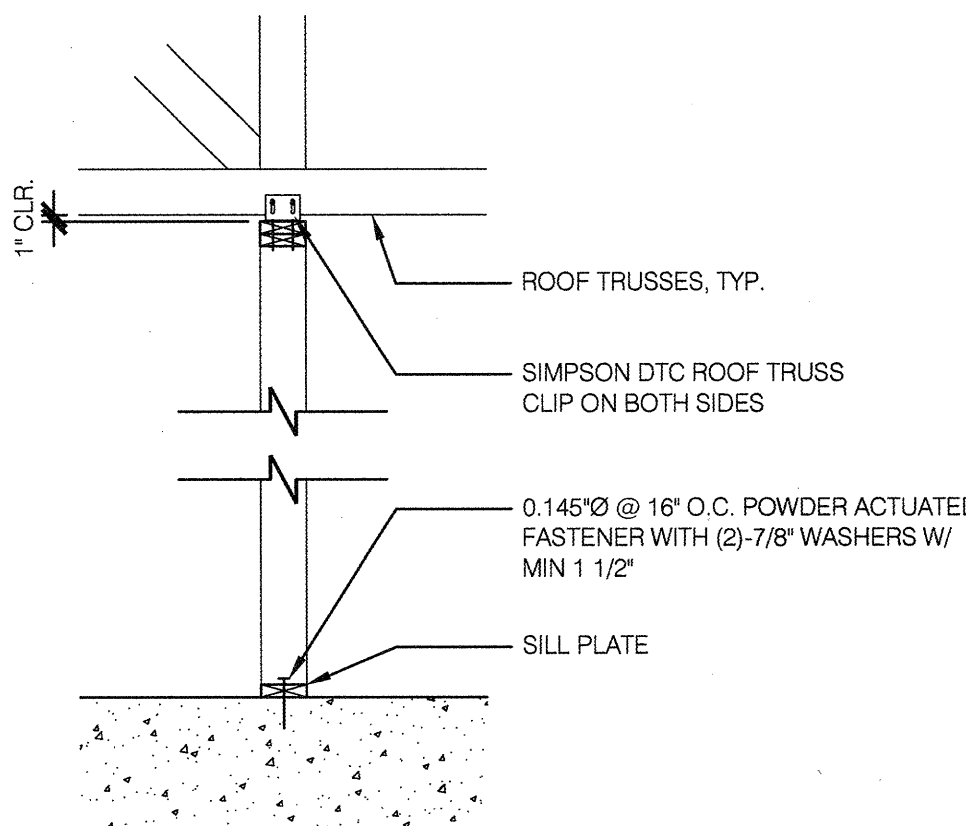
10



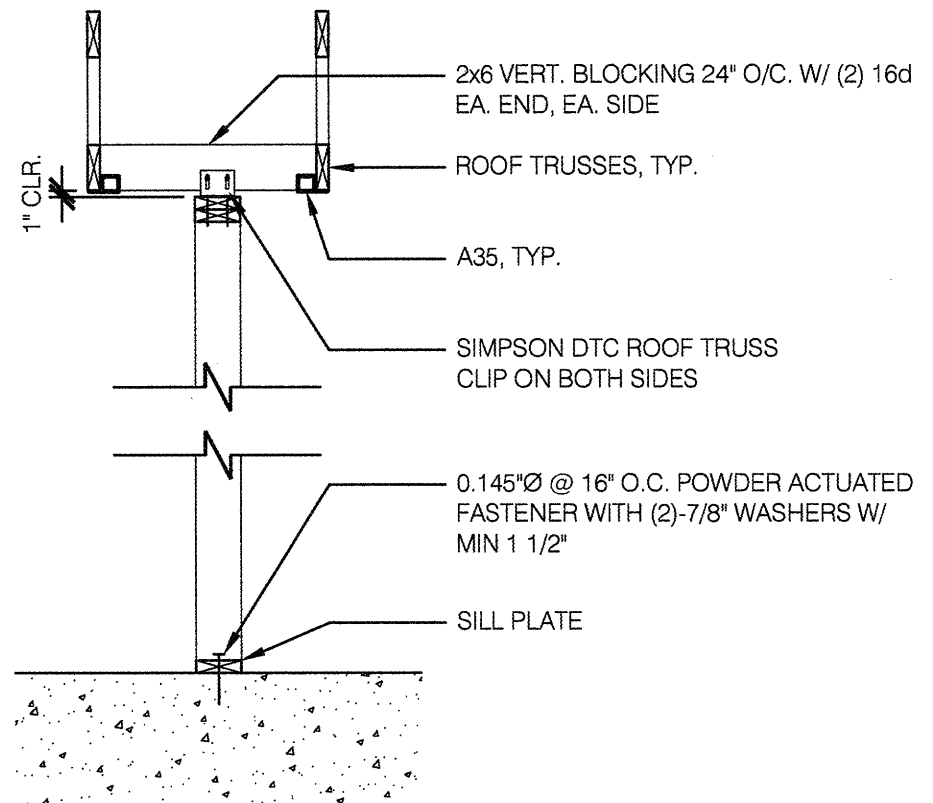
#### DRIVE THRU TOWER SECTION 3/4" = 1'-0" 12



#### DRIVE THRU TOWER SECTION 3/4" = 1'-0" 3



#### SUPPORT PERP. TO TRUSS 1/2" = 1'-0" 8



#### SUPPORT- PARALLEL TO TRUSS 1/2" = 1'-0" 4

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PRELIMINARY REVIEW	01.20.16
BLDG. DEPT. SUBMITTAL	05.17.16
BLDG. DEPT. CORR.	10.20.16

CITY OF SAN JOSE  
BUILDING DIVISION  
B.P.#  
DATE

TACO BELL  
1298 WINCHESTER BLVD.  
SAN JOSE, CA



M70H  
EXPLORER  
REVERSE

#### STRUCTURAL DETAILS

S4.2